

Drain: ASHOURY PARK DRAIN **Drain #:** 328
Improvement/Arm: ASHOURY PARK - SECTION 2
Operator: JDH **Date:** 5-21-04
Drain Classification: Urban/Rural **Year Installed:** 2002

GIS Drain Input Checklist

- Pull Source Documents for Scanning JDH
- Digitize & Attribute Tile Drains _____
- Digitize & Attribute Storm Drains _____
- Digitize & Attribute SSD _____
- Digitize & Attribute Open Ditch _____
- Stamp Plans _____
- Sum drain lengths & Validate _____
- Enter Improvements into Posse JDH
- Enter Drain Age into Posse JDH
- Sum drain length for Watershed in Posse JDH
- Check Database entries for errors _____

Drain: ASHBURY PARK DRAIN Drain #: 328
Improvement/Arm: ASHBURY PARK - SECTION 2
Operator: JDH Date: 8/19/04
Drain Classification: Urban/Rural Year Installed: 2002

GIS Drain Input Checklist

- Pull Source Documents for Scanning JDH
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JDH
- Digitize & Attribute SSD JDH
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JDH
- Sum drain lengths & Validate JDH
- Enter Improvements into Posse JDH
- Enter Drain Age into Posse SLM
- Sum drain length for Watershed in Posse SLM
- Check Database entries for errors JDH

**Gasb 34 Footages for Historical Cost
Drain Length Log**

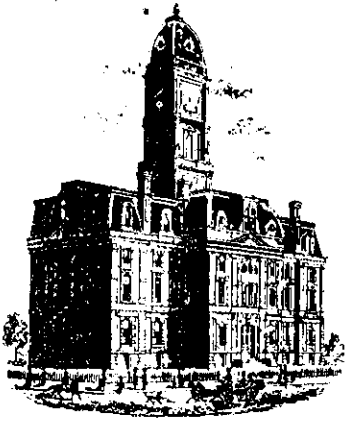
Drain-Improvement: ASHAWAY PARK DRAIN - ASHWAY PARK - SECTION 2

Drain Type:	Size:	Length <i>measured Rebar</i>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
<i>SSD</i>	6"	5,492'	5,492'	Ø		
<i>RCP</i>	12"	781'	781.1'	+1.1'		
	15"	725'	737.8	+12.8		
	18"	256'	247'	+9		
	21"	139'	139.6'	+1.6'		
	24"	157'	155.2'	-1.8'		
	27"	441'	437.6'	-3.4'		
	30"	163'	158'	-5'		
<i>CMP</i>	12"	70'	70	Ø		

Sum: 8,224' 8,218.3' -5.7'

Final Report: 8,218.3'

Comments:



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

August 14, 2000

Re: Ashbury Park Drain, Section 2 Arm

Attached is a petition, non-enforcement requests, plans, calculations, quantity summary and assessment rolls for the Section 2 Arm of the Ashbury Park Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages, and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6"	SSD	5,492 ft	15"	RCP	725 ft	24"	RCP	157 ft
12"	CMP	70 ft	18"	RCP	256 ft	27"	RCP	441 ft
12"	RCP	781 ft	21"	RCP	139 ft	30"	RCP	163 ft

The total length of the drain will be 8,224 feet.

The retention pond (lake) located in Common area F is to be considered part of the regulated drain. The Board will maintain the pond and retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The 12" CMP's listed above are those which are under 136th Street. These are the dual culverts located 90' east of the centerline of Schaefer Way and the single culvert 200 feet west of the centerline of Schaefer Way.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots of in rear yards. Only the main SSD lines which are located within the easement/right of way are to be maintained as regulated drain. Laterals for individual lots will not be

considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows: Rear of Lots 72-77 in Common Area E and H, 136th Street right of way on north side of Common Area E.

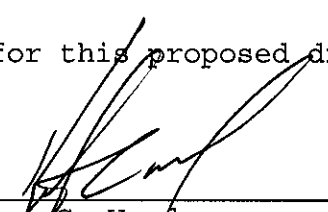
I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per lot, \$10.00 per acre for roadways, \$5.00 per acre for common areas, with a \$65.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$3,587.70.

Parcels assessed for this drain may be assessed for the Collins-Osborn or Williams Creek Drain at sometime in the future. Parcels assessed for this drain will also be assessed for the O. F. Henley Drain.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those widths as shown on the secondary plat for Ashbury Park, Section 2 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 25, 2000.



Kenton C. Ward
Hamilton County Surveyor

KCW/kkw

SUBDIVISION IMPROVEMENTS PERFORMANCE BOND

BOND NO: 887704S

KNOW ALL MEN BY THESE PRESENTS:

THAT we, PITTMAN PARTNERS, INC. as Principal,
and DEVELOPERS SURETY AND INDEMNITY COMPANY, a corporation organized and doing
business and under and by virtue of the laws of the State of Iowa and duly licensed to conduct surety
business in the State of Indiana, as Surety, are held and firmly bound unto

BOARD OF COMMISSIONERS, HAMILTON COUNTY, One Hamilton Square, Noblesville IN 46060

as Obligee, in the sum of ***Eight Thousand and no/100th ***** Dollars,
(\$ 8,000.00) for which payment, well and truly to be made, we bind ourselves, our heirs, executors and
successors, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

WHEREAS, the above named Principal, has agreed to construct in Ashbury Park, Section 2 Subdivision,
the
following improvements: Erosion Control

NOW, THEREFORE, the condition of this obligation is such, that if the above Principal shall well and
truly perform said agreement or agreements during the original term thereof or of any extension of said
term that may be granted by the Obligee with or without notice to the Surety, this obligation shall be void,
otherwise it shall remain in full force and effect.

IN WITNESS WHEREOF, the seal and signature of said Principal is hereto affixed and the corporate seal
and the name of the said Surety is hereto affixed and attested by its duly authorized Attorney- in-F act, this
3rd Day of October 2002.

PITTMAN PARTNERS, INC.

Principal

BY: Steve Pittman

Steve Pittman

President

DEVELOPERS SURETY AND INDEMNITY COMPANY

BY: Howard E. McConnell

Howard E. McConnell Attorney- in-F act

**POWER OF ATTORNEY FOR
DEVELOPERS SURETY AND INDEMNITY COMPANY
INDEMNITY COMPANY OF CALIFORNIA**

PO BOX 19725, IRVINE, CA 92623 • (949) 263-3300

KNOW ALL MEN BY THESE PRESENTS, that except as expressly limited, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, do each severally, but not jointly, hereby make, constitute and appoint:

HOWARD E. MCCONNELL

as the true and lawful Attorney(s)-in-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations as sureties, bonds, undertakings and contracts of suretyship giving and granting unto said Attorney(s)-in-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation, and all of the acts of said Attorney(s)-in-Fact, pursuant to these presents, are hereby ratified and confirmed.

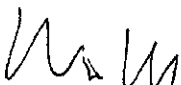
This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Board of Directors of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, effective as of November 1, 2000:

RESOLVED, that the Chairman of the Board, the President and any Vice President of the corporation be, and that each of them hereby is, authorized to execute Powers of Attorney, qualifying the attorney(s) named in the Powers of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporation when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA have severally caused these presents to be signed by their respective Executive Vice President and attested by their respective Secretary this 8th day of November, 2000.

By: 
David H. Rhodes, Executive Vice President

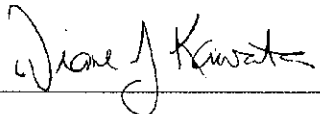
By: 
Walter A. Crowell, Secretary

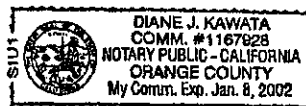


STATE OF CALIFORNIA)
)SS.
COUNTY OF ORANGE)

On November 8, 2000, before me, Diane J. Kawata, personally appeared David H. Rhodes and Walter A. Crowell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.

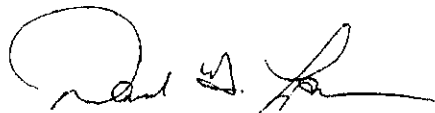
Signature 



CERTIFICATE

The undersigned, as Chief Operating Officer of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, does hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked, and furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney, are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, the _____ day of _____, _____.

By: 
David G. Lance, Chief Operating Officer

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FILED

OCT 03 2002

OFFICE OF HAMILTON COUNTY SURVEYOR

SUBDIVISION IMPROVEMENTS PERFORMANCE BOND

BOND NO: 887703S

KNOW ALL MEN BY THESE PRESENTS:

THAT we, PITTMAN PARTNERS, INC. as Principal, and DEVELOPERS SURETY AND INDEMNITY COMPANY, a corporation organized and doing business and under and by virtue of the laws of the State of Iowa and duly licensed to conduct surety business in the State of Indiana, as Surety, are held and firmly bound unto

BOARD OF COMMISSIONERS, HAMILTON COUNTY, One Hamilton Square, Noblesville IN 46060

as Obligee, in the sum of ***One Hundred forty thousand and no/100th ***** Dollars, (\$ 140,000.00) for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

WHEREAS, the above named Principal, has agreed to construct in Ashbury Park, Section 2 Subdivision, the following improvements: Storm Sewers and sub surface drains

NOW, THEREFORE, the condition of this obligation is such, that if the above Principal shall well and truly perform said agreement or agreements during the original term thereof or of any extension of said term that may be granted by the Obligee with or without notice to the Surety, this obligation shall be void, otherwise it shall remain in full force and effect.

IN WITNESS WHEREOF, the seal and signature of said Principal is hereto affixed and the corporate seal and the name of the said Surety is hereto affixed and attested by its duly authorized Attorney- in-F act, this 3rd Day of October 2002.

PITTMAN PARTNERS, INC.

Principal

BY: Steve Pittman
Steve Pittman

President

DEVELOPERS SURETY AND INDEMNITY COMPANY

BY: Howard E. McConnell
Howard E. McConnell Attorney-in-F act

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FILED

OCT 03 2002

OFFICE OF HAMILTON COUNTY SURVEYOR

**POWER OF ATTORNEY FOR
DEVELOPERS SURETY AND INDEMNITY COMPANY
INDEMNITY COMPANY OF CALIFORNIA**

PO BOX 19725, IRVINE, CA 92623 • (949) 263-3300

KNOW ALL MEN BY THESE PRESENTS, that except as expressly limited, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, do each severally, but not jointly, hereby make, constitute and appoint:

*****HOWARD E. MCCONNELL*****


as the true and lawful Attorney(s)-in-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations as sureties, bonds, undertakings and contracts of suretyship giving and granting unto said Attorney(s)-in-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation, and all of the acts of said Attorney(s)-in-Fact, pursuant to these presents, are hereby ratified and confirmed.

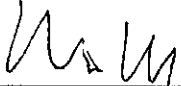
This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Board of Directors of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, effective as of November 1, 2000:

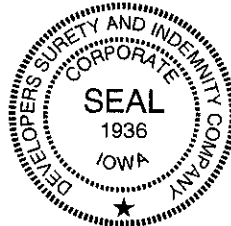
RESOLVED, that the Chairman of the Board, the President and any Vice President of the corporation be, and that each of them hereby is, authorized to execute Powers of Attorney, qualifying the attorney(s) named in the Powers of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporation when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA have severally caused these presents to be signed by their respective Executive Vice President and attested by their respective Secretary this 8th day of November, 2000.

By: 
David H. Rhodes, Executive Vice President

By: 
Walter A. Crowell, Secretary



STATE OF CALIFORNIA)
)SS.
COUNTY OF ORANGE)

On November 8, 2000, before me, Diane J. Kawata, personally appeared David H. Rhodes and Walter A. Crowell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.

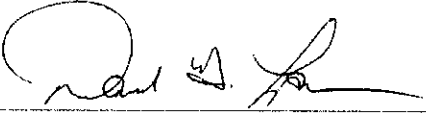
Signature 



CERTIFICATE

The undersigned, as Chief Operating Officer of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, does hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked, and furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney, are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, the _____ day of _____, _____.

By: 
David G. Lane, Chief Operating Officer

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CERTIFICATE OF COMPLETION AND COMPLIANCE

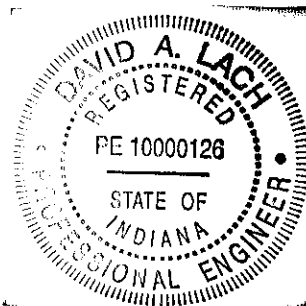
To: Hamilton County Surveyor

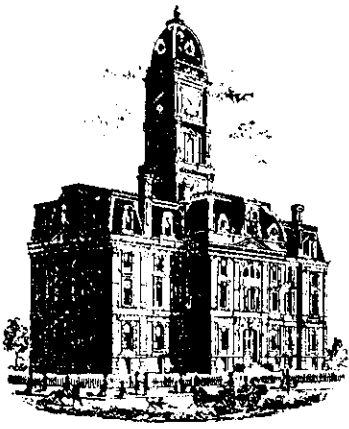
Re: Asbury Park, Section Two

I hereby certify that:

1. I am a Registered Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: 8/11, 2004
David A. Lach, P.E. #10000126





SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

August 30, 2004

Re: Ashbury Park Drain: Sec. 2 Arm

Attached are as-builts, certificate of completion & compliance, and other information for Ashbury Park Sec. 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 14, 2000. The report was approved by the Board at the hearing held September 25, 2000. (See Drainage Board Minutes Book 5, Pages 460-461) The changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Grade:	Original:	Difference:
726	877.42	874.22					
725	875.36	871.46	12	441.9	0.62	441	0.9
725	875.36	871.46					
724	876.28	870.93	15	142.8	0.37	143	-0.2
724	876.28	870.78					
723	878.6	868.6	27	303.6	0.72	307	-3.4
723	878.6	868.6					
722		867.9	30	158	0.44	163	-5
730		873					
729	877.25	872.65	15	119.6	0.29	111	8.6
729	877.25	872.55					
728	875.95	872.5	15	52.9	0.09	50	2.9
728	875.95	871.08					
727	876.1	871.06	18	29.6	0.07	30	-0.4
727	876.1	871					
724	876.28	870.98	21	20.5	0.34	18	2.5
737	882.6	878.64					
736	882.23	878.26	12	75.9	0.67	78	-2.1
736	882.23	877.76					
735	882.65	877.1	15	59.4	0.44	58	1.4
735	882.65	876.9					
732	881.04	875.94	15	113.9	0.84	116	-2.1
732	881.04	875.72					

731	876.28	872.93	15	249.2	0.72	247	2.2
731	876.28	871.28					
724	876.28	870.78	18	53.8	0.56	54	-0.2
742	877.84	875.14					
741	878.38	874.83	12	54.8	0.57	55	-0.2
741	878.38	874.73					
740	878.43	874	12	124.5	0.59	125	-0.5
740	878.43	873.83					
739	878.07	873.52	24	29.9	1.04	30	-0.1
739	878.07	873.52					
738		873	27	134	0.4		
Ex		879.98					
744A	879.75	877.3	12"cmp	18	10		
744A	879.75	875.85					
744	878.11	874.76	18	163.6	0.67	172	-8.4
744	878.11	874.66					
743	879.03	874.53	21	119.1	0.11	121	-1.9
743	879.03	874.33					
740	878.43	873.83	24	125.3	0.28	127	-1.7
745	879.09	874.74					
743	879.03	874.43	12	39	0.79	37	-2
734	880.37	876.95					
733	880.41	876.56	12	29.8	1.31	30	-0.2
733	880.41	875.76					
732	880.95	875.98	12	15.2	1.45	15	0.2

The length of the drain due to the changes described above is now **8218.3 feet**.

The non-enforcement was approved by the Board at its meeting on September 25, 2000 and recorded under instrument #200300011396.

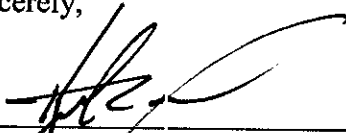
The following sureties were guaranteed by Developers Surety and Indemnity Company and released by the Board on its September 15, 2004 meeting.

Bond-LC No: 887703S
Insured For: Storm Sewers
Amount: \$140,000
Issue Date: October 3, 2002

Bond-LC No: 887704S
Insured For: Erosion Control
Amount: \$8,000
Issue Date: October 3, 2002

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



 Kenton C. Ward,
 Hamilton County Surveyor

OWNER/DEVELOPER

ASHBURY PARK LLC

STEVE PITTMAN

P.O. BOX 554

CARMEL, IN 46032

Ph. (317) - 580-9693 FAX (317) - 580-9786

ENGINEER

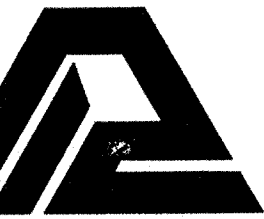
PAUL I. CRIFE, INC.

BRUCE HAGEN

7172 GRAHAM ROAD

INDIANAPOLIS, INDIANA 46250

Ph. (317) 842-6777 FAX (317) 841-4798



PERIMETER DESCRIPTION

A part of the Northeast Quarter of Section 27, Township 18 North, Range 3 East, Clay Township, in Hamilton County, Indiana, and more particularly described as follows:

Commencing at Northwest corner of said Northeast Quarter; thence along the North line of said Northeast Quarter and the North line of a 1.00 acre tract described in Instrument No. 83-6194 as recorded in the Office of the Recorder of Hamilton County, Indiana, North 89 degrees 17 minutes 54 seconds East (the basis of bearing is the North line (which line is the South line of said Northeast Quarter) of the recorded plot of Springmill Streams- Section Four, as recorded in Plat Book 12, Pages 46-47) 238.00 feet to the Northeast corner of said tract and to the point of beginning of this description; thence along the East line of said tract, South 00 degrees 07 minutes 08 seconds East 183.00 feet to the Southeast corner of said tract and to the Northeast corner of a 1.81 acre tract of land described in Instrument No. 980985839 as recorded in the Office of said Recorder; thence along the East line of the 1.81 acre tract, South 00 degrees 07 minutes 16 seconds East 331.81 feet to the North line of a 0.072 acre tract described as Parcel I in Instrument No. 9709707220 as recorded in the Office of said Recorder; thence along said North line, North 89 degrees 52 minutes 52 seconds East 12.00 feet to the Northeast corner of said 0.072 acre tract; thence along the East line of said 0.072 acre tract, South 00 degrees 07 minutes 08 seconds East 12.61 feet to the North line of an exception tract described as "one (1) acre on which grantor's marital residence sets," in Instrument No. 93-58524 as recorded in the Office of said Recorder (the next three courses are along the North, East and South lines of said exception tract); (1) thence North 89 degrees 52 minutes 52 seconds East 185.60 feet; (2) thence South 00 degrees 07 minutes 08 seconds East 100.00 feet; (3) thence South 89 degrees 52 minutes 52 seconds West 185.60 feet to the East line of line of a 0.215 acre tract described as Parcel II in said Instrument No. 9709707220; thence along said East line, South 00 degrees 07 minutes 08 seconds East 37.37 feet to the North line of line of a 1.86 acre tract described in Instrument No. 970971234 as recorded in the Office of said Recorder (the next three courses are along the North, East and South lines of said tract); (1) thence North 89 degrees 52 minutes 52 seconds East 78.02 feet; (2) thence South 00 degrees 08 minutes 08 seconds East 230.52 feet; (3) thence North 89 degrees 59 minutes 09 seconds West 0.41 feet to the East line of a 1.96 acre tract described in Deed Book 328, Page 187 as recorded in the Office of said Recorder; thence along the East line of said 1.96 acre tract, South 00 degrees 07 minutes 16 seconds East 129.78 feet to the approximate centerline of Henley Creek and to a Northeasterly line of a 12.41 acre tract of land described in Instrument No. 9709740067 as recorded in the Office of said Recorder (the next seven courses are along the Northeasterly and Easterly lines of said 12.41 acre tract and the approximate centerline of Henley Creek); (1) thence South 66 degrees 13 minutes 28 seconds East 308.08 feet; (2) thence South 34 degrees 03 minutes 17 seconds East 88.22 feet; (3) thence South 09 degrees 57 minutes 49 seconds East 153.00 feet; (4) thence South 11 degrees 50 minutes 32 seconds West 117.56 feet; (5) thence South 02 degrees 49 minutes 27 seconds West 186.78 feet; (6) thence South 05 degrees 01 minutes 43 seconds West 121.92 feet; (7) thence South 01 degrees 16 minutes 46 seconds West 173.77 feet to the South line of the North Half of the Southwest Quarter of the Northeast Quarter of said Section 27; thence along said North line North 89 degrees 14 minutes 49 seconds East 691.96 feet to the West line of the East Half of the Northeast Quarter of said Section 27; thence along said East line, South 00 degrees 07 minutes 08 seconds East 657.54 feet to the South line of the Northeast Quarter of said Section 27; thence along said South line, North 89 degrees 13 minutes 32 seconds East 166.28 feet to the West line of a 1.00 acre tract described in Instrument No. 9609638999 as recorded in the Office of said Recorder (the next two courses are along the West and North lines of said 1.00 acre tract); (1) thence North 00 degrees 11 minutes 09 seconds West 264.00 feet; (2) thence North 89 degrees 13 minutes 32 seconds East 166.00 feet to the East line of the 19 acre tract described as "TRACT ONE," in said Instrument No. 93-58524; thence along the East line of said "TRACT ONE," North 00 degrees 11 minutes 16 seconds West 2365.74 feet to the Northeast corner of said 19 acre tract and to the North line of the Northeast Quarter of said Section 27; thence along said North line, South 89 degrees 17 minutes 54 seconds West 922.08 feet to the Northeast corner of a 1.24 acre tract as described in Instrument No. 9809829045 as recorded in the Office of said Recorder (the next three courses are along the East, South and West lines of said 1.24 acre tract); (1) thence South 01 degrees 47 minutes 59 seconds East 199.36 feet; (2) thence South 89 degrees 17 minutes 54 seconds West 273.90 feet; (3) thence North 00 degrees 16 minutes 14 seconds East 199.35 feet to the North line of said Northeast Quarter; thence along said North line, South 89 degrees 17 minutes 54 seconds West 317.73 feet to the point of beginning, containing 56.957 acres, more or less.

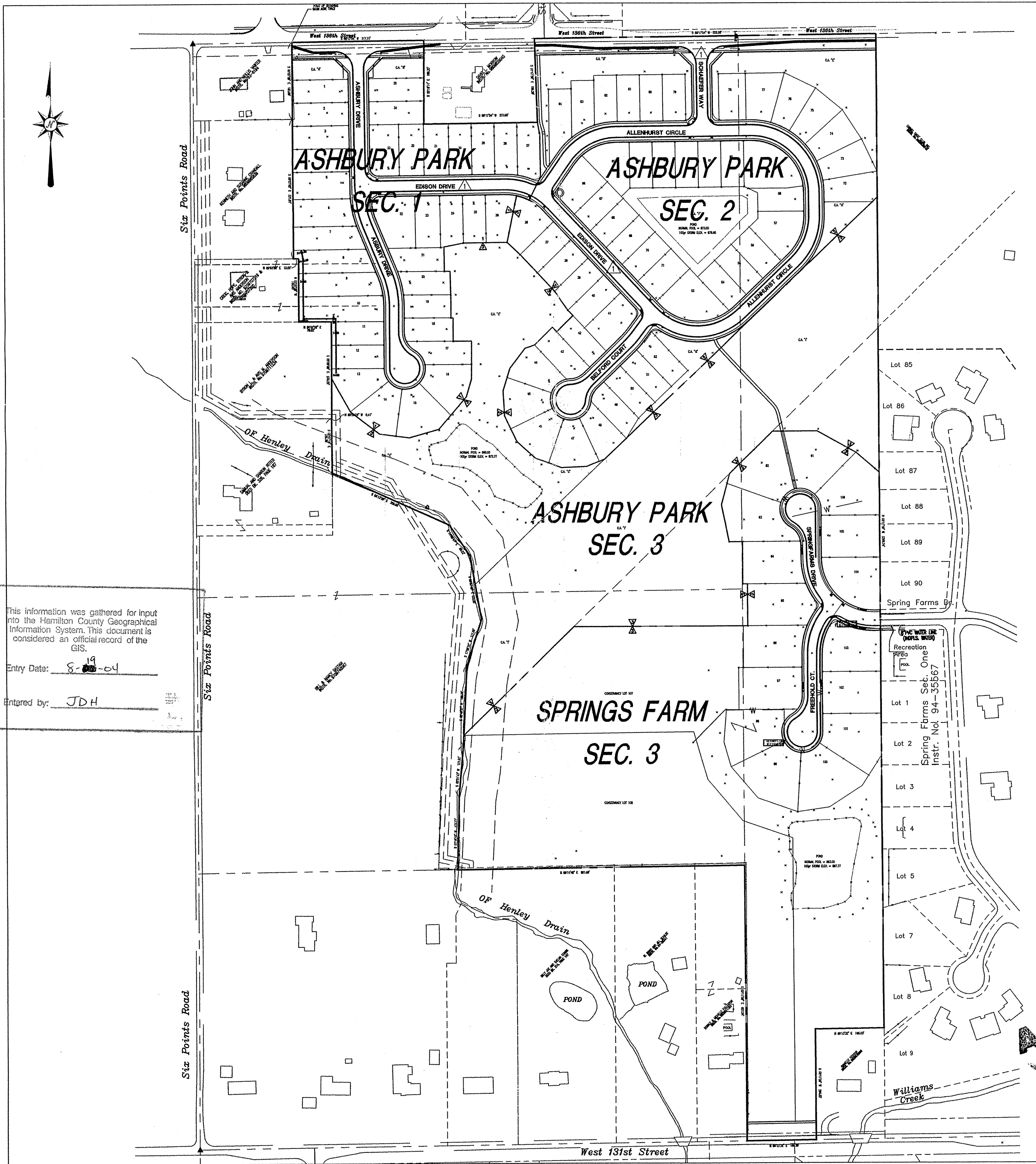
ALSO, A part of the land conveyed to J. Warren and Juanita Harvey per Deed Record 137, Page 407 as recorded in the Office of the Recorder of Hamilton County, Indiana, and being a part of the Northeast Quarter of Section 27, Township 18 North, Range 3 East, Clay Township, in Hamilton County, Indiana, and more particularly described as follows:

Commencing at Northwest corner of said Northeast Quarter; thence along the North line of said Northeast Quarter and the North line of a 1.00 acre tract described in Instrument No. 83-6194 as recorded in said Recorder's Office, North 89 degrees 17 minutes 54 seconds East 238.00 feet to the Northeast corner of said tract; thence along the East line of said tract, South 00 degrees 07 minutes 08 seconds East 183.00 feet to the Southeast corner of said tract and to the Northeast corner of a 1.81 acre tract of land described in Instrument No. 980985839 as recorded in the Office of said Recorder; thence along the East line of the 1.81 acre tract, South 00 degrees 07 minutes 16 seconds East 331.81 feet to the North line of a 0.072 acre tract described as Parcel I in Instrument No. 9709707220 as recorded in the Office of said Recorder; thence along said North line, North 89 degrees 52 minutes 52 seconds East 12.00 feet to the Northeast corner of said 0.072 acre tract; thence along the East line of said 0.072 acre tract, South 00 degrees 07 minutes 08 seconds East 12.61 feet to the North line of an exception tract described as "one (1) acre on which grantor's marital residence sets," in Instrument No. 93-58524 as recorded in the Office of said Recorder and to the point of beginning of this description (the next three courses are along the North, East and South lines of said exception tract); (1) thence North 89 degrees 52 minutes 52 seconds East 185.60 feet; (2) thence South 00 degrees 07 minutes 08 seconds East 100.00 feet; (3) thence South 89 degrees 52 minutes 52 seconds West 185.60 feet to the East line of line of a 0.215 acre tract described as Parcel II in said Instrument No. 9709707220; thence North 00 degrees 07 minutes 08 seconds West 100.00 feet to the point of beginning, containing 0.43 acres, more or less.

Subject to the rights-of-way for 136th Street and 131st Street and other easements, covenants, conditions and restrictions of record.

CONSTRUCTION PLANS FOR ASHBURY PARK SECTIONS 1-3 SPRING FARMS SECTION 3

SECTION 2 STORM AS-BUILT



This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
Entry Date: 8-20-04
Entered by: JDH

SECTION 2 STORM AS-BUILT

SECTION 2 STORM AS-BUILT

AS BUILT date 8/17/04

PROJECT DATA

Project Address: West 136th Street
Project Area: Area 67.38 Acres
Total Lots: 102 lots
Ashbury Park Sec. 1: 36 lots
Ashbury Park Sec. 2: 49 lots
Spring Farms Sec. 3: 18 lots

AS-BUILT INDEX

Table with columns SHT and DESCRIPTION. Lists various sheets including cover sheets, site development plans, erosion control plans, and sanitary/sewer details.

BENCHMARKS

PROJECT Reference: U.S.C.&G.S. Bench #80 - Bronze Disc Stamped 890 1951, Located 13' North Of The Centerline Of 131st Street, In Line With Clay Center Road 10' South Of Fence. (Rr. 89445-20000) Elev. = 879.78
SITE Control Point Rebar (Point No.500) Set Flush With Ground, Located Southwest Of The Entrance To Buckhorn Subdivision, It's Approx. 17 Feet West Of A North-South Fence And 50 Feet East Of A Power Pole. Elev. = 883.76

CONTACT CO. / PERSON FOR

Table listing contact information for various companies and individuals, including names, phone numbers, and fax numbers.

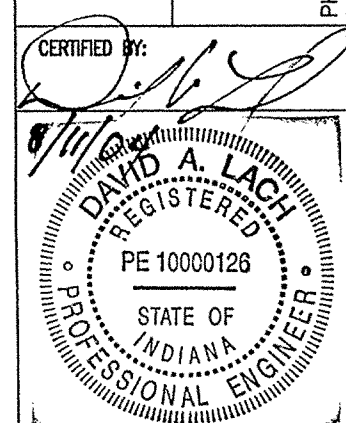
DON'T DIG BLIND 1-800-382-5544 1-800-428-5200

Table with columns DWG. TYPE, FILE NUMBER, and RECORD DRAWING. Lists project manager, engineer, and quality assurance personnel.

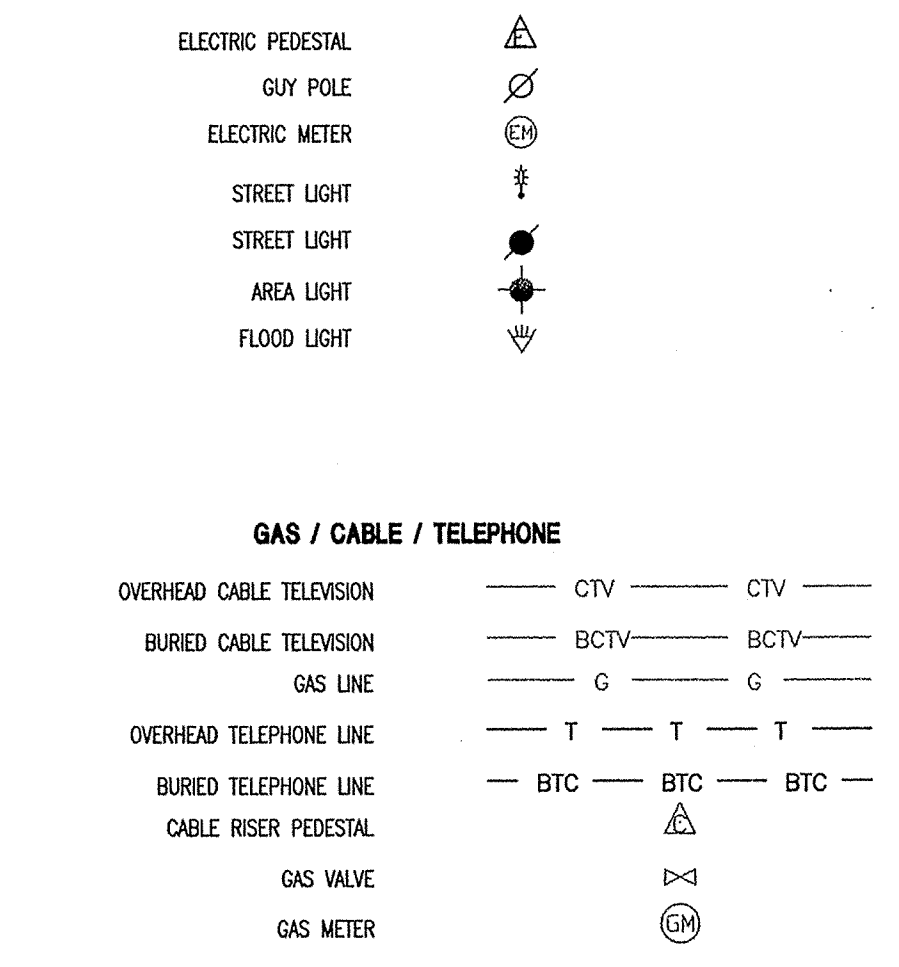
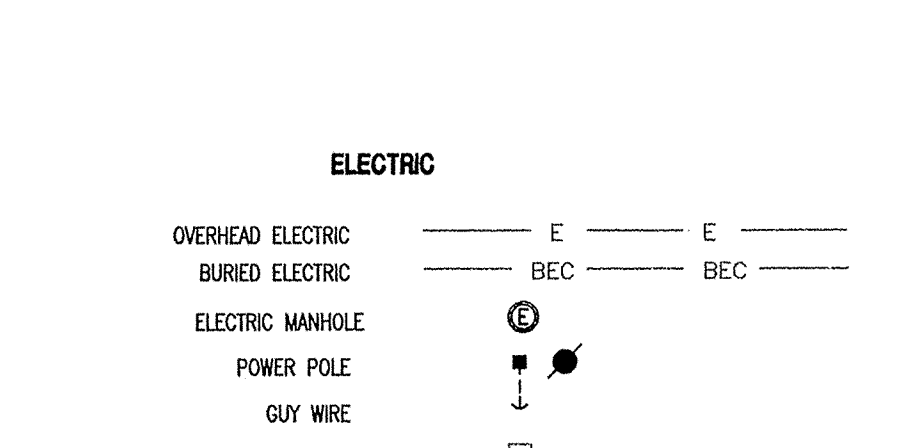
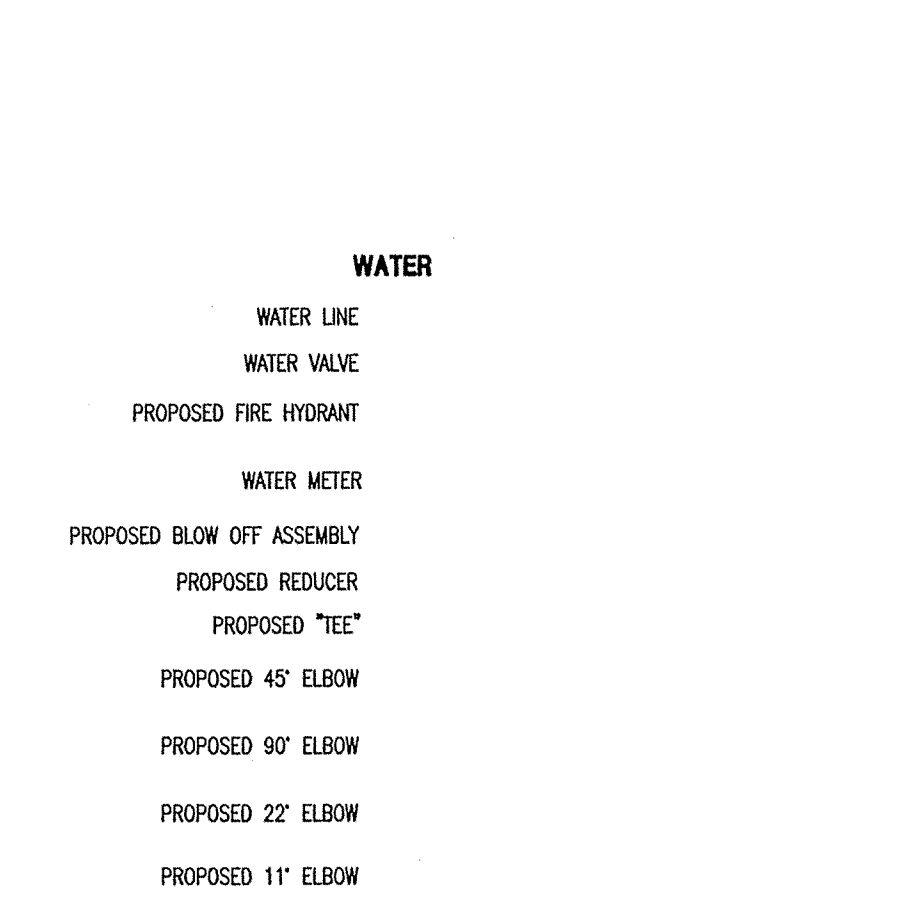
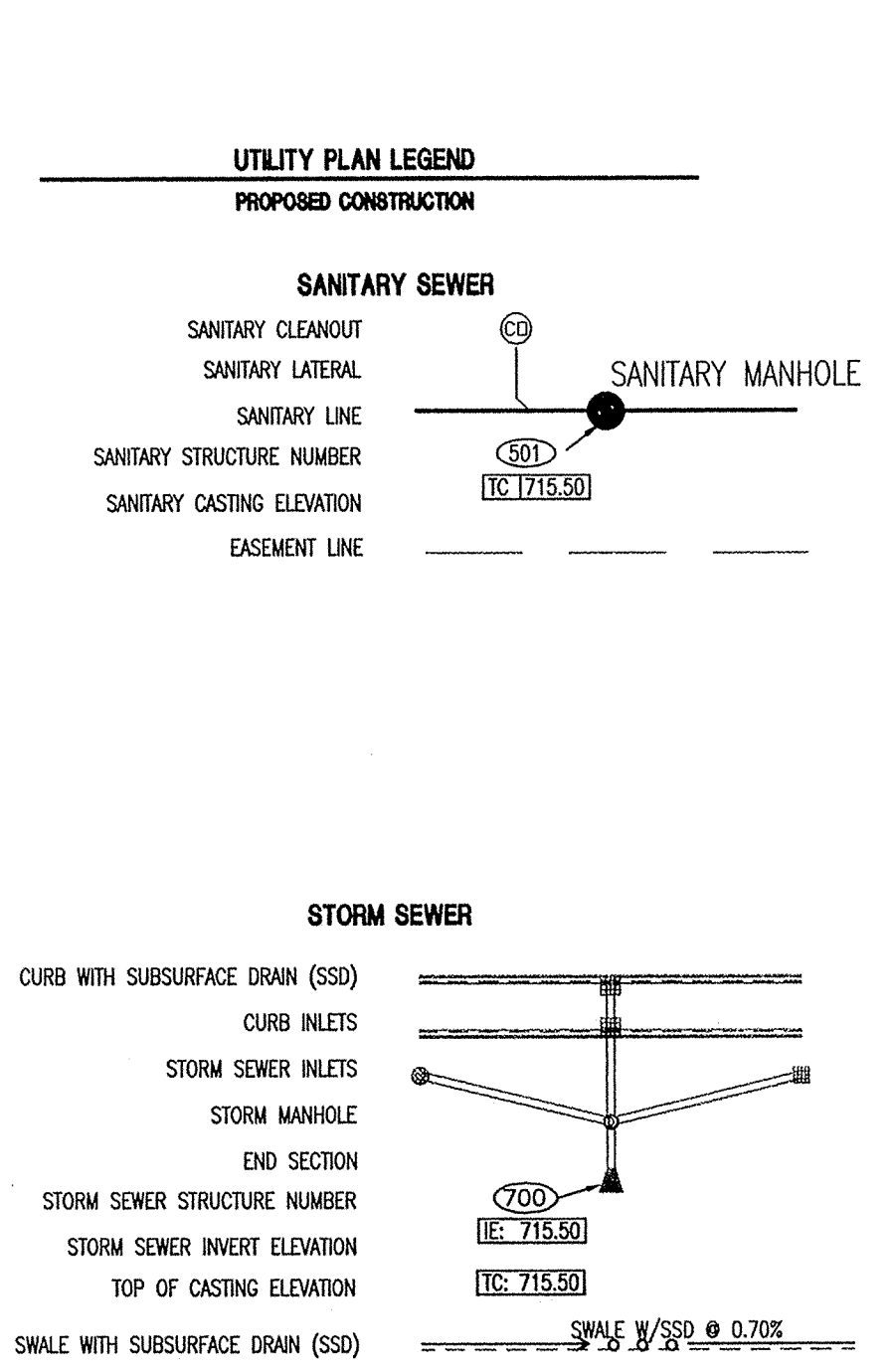
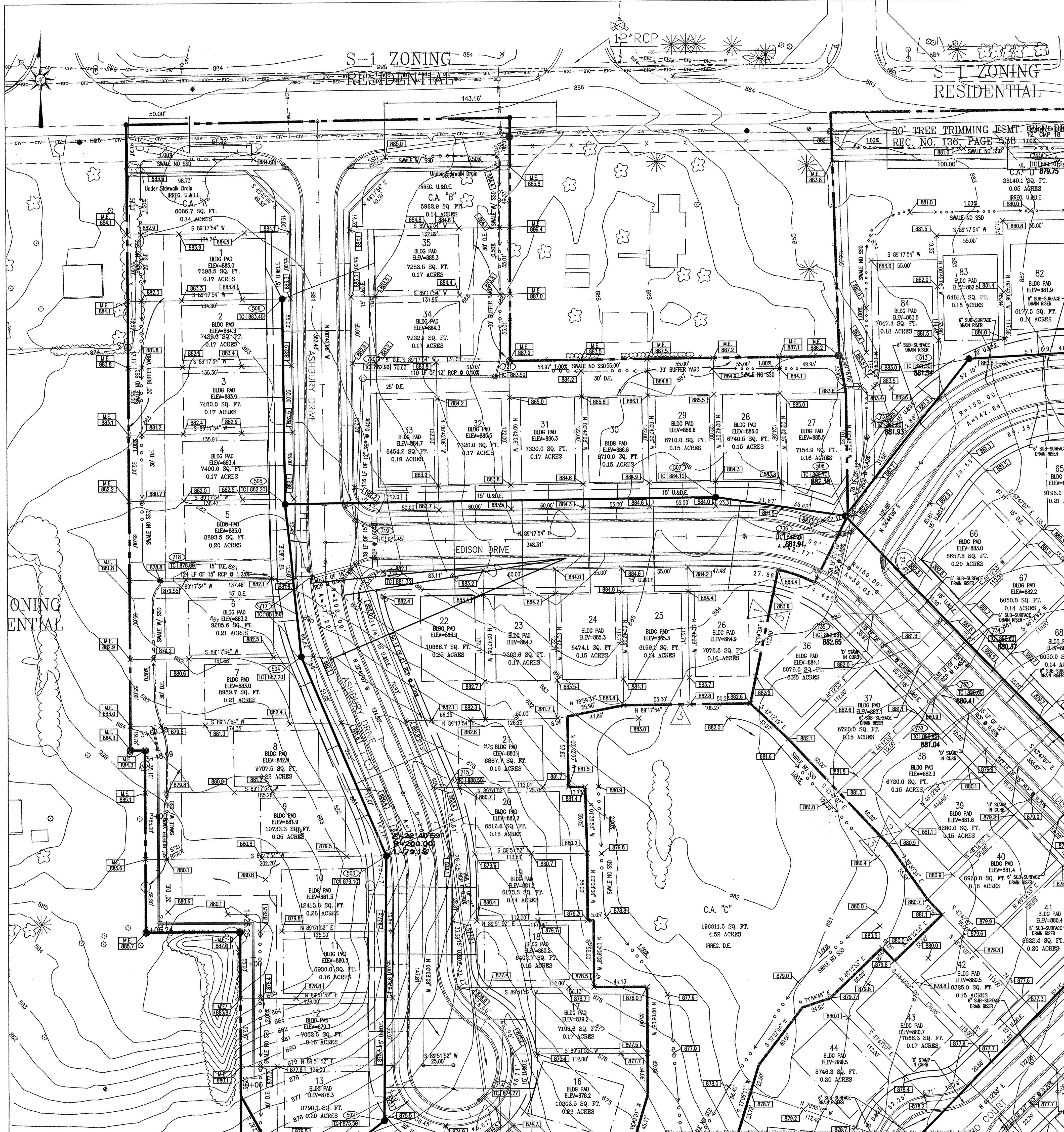
Table with columns Reference, Date, and Description. Lists various project references and dates.

PAUL I. CRIFE, INC. 7172 GRAHAM ROAD INDIANAPOLIS, INDIANA 46250 842-6777 FAX (317) 841-4798 E-Mail at pcrife@pcrife.com

COVER SHEET ASHBURY PARK 1 - 3 and SPRING FARMS 3 ASHBURY PARK, LLC P.O. BOX 554 CARMEL, IN 46032 PHONE: (317) 842-6777 FAX: (317) 841-4798



Scale: 0 1" = 100' Date: 08-30-99 Project Number: 980528-20100



GRADING NOTES

- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
- ALL TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDED SUCH AS LAKE SLOPES, MOUND AREAS, AREAS BETWEEN CURBS AND CLEARING LIMITS, AND ALL DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
- STRAW BALE DAMS, SEDIMENT PITS AND SILT FENCES SHALL BE UTILIZED TO CONTROL EROSION. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
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- THE BASE FLOOD ELEVATION (BFE) FOR THIS PROJECT HAS BEEN DETERMINED TO BE 870.0 FEET.
- SEE STREET PLAN & PROFILE SHEET FOR ADDITIONAL GRADES ON STREET.
- THE INTENT OF THESE PLANS IS TO USE ALL EXCESS FILL MATERIAL ONSITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
- BUILDING PAD AREAS AND STREETS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS FOR BUILDING AREAS AND STREETS ARE TO BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
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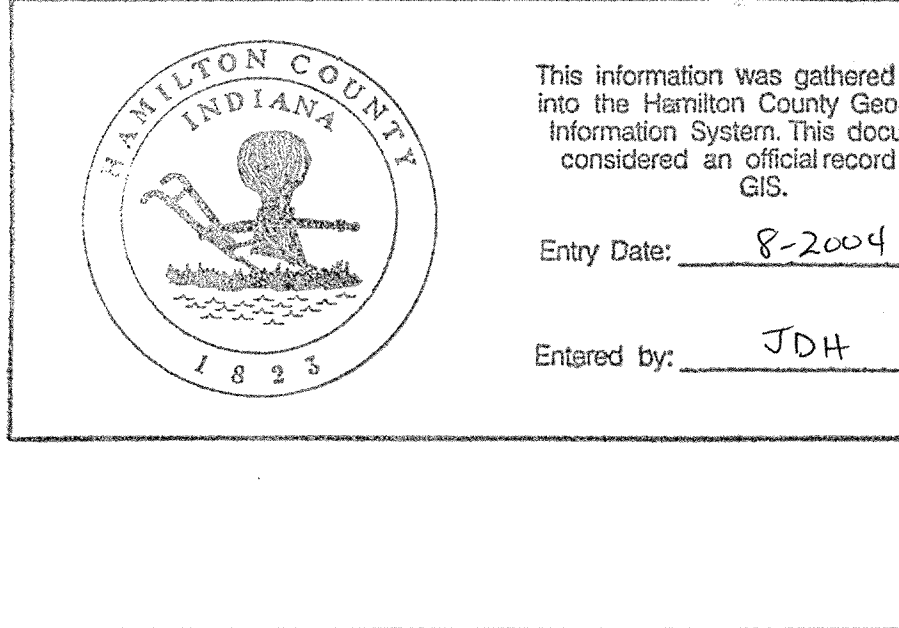
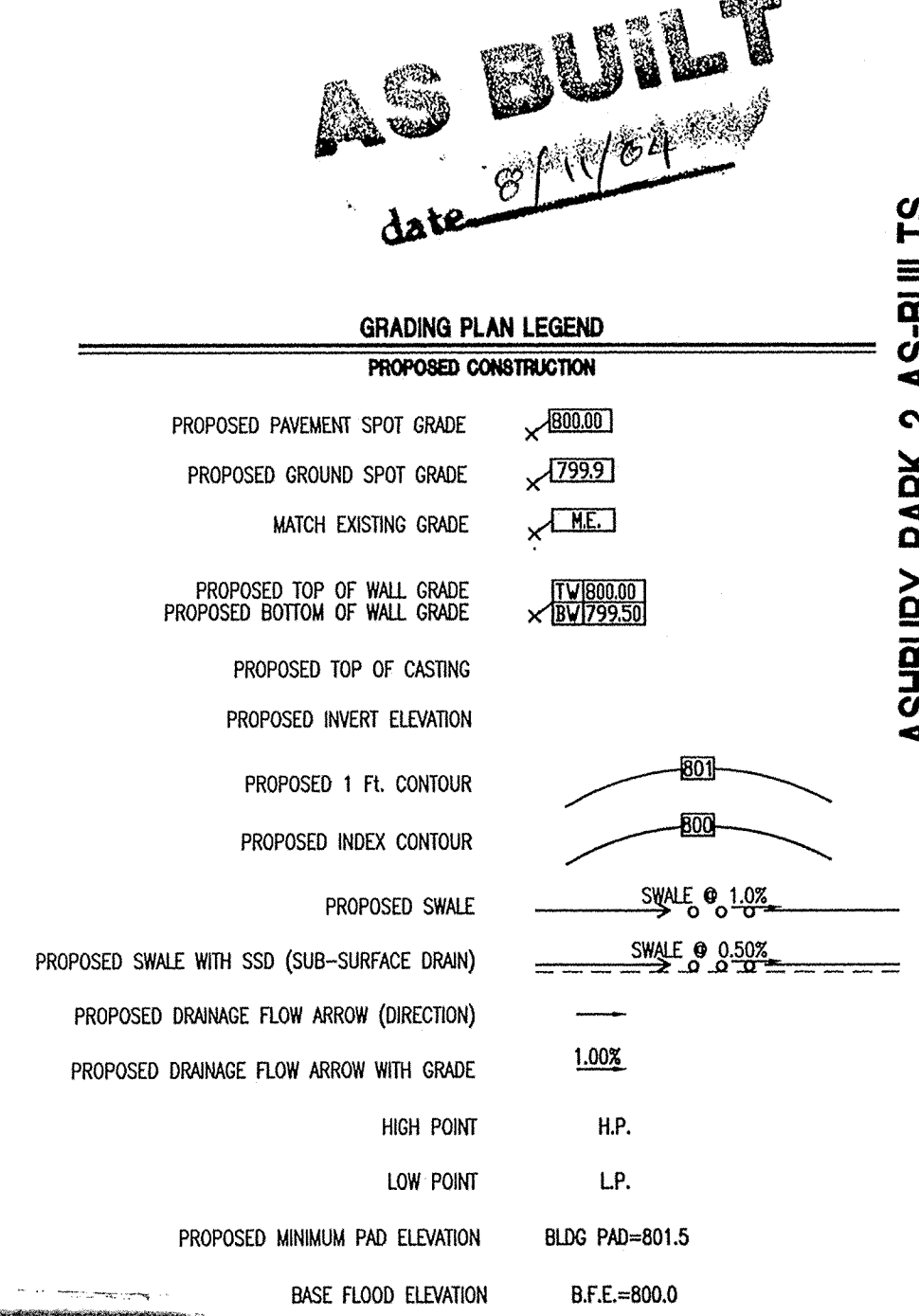
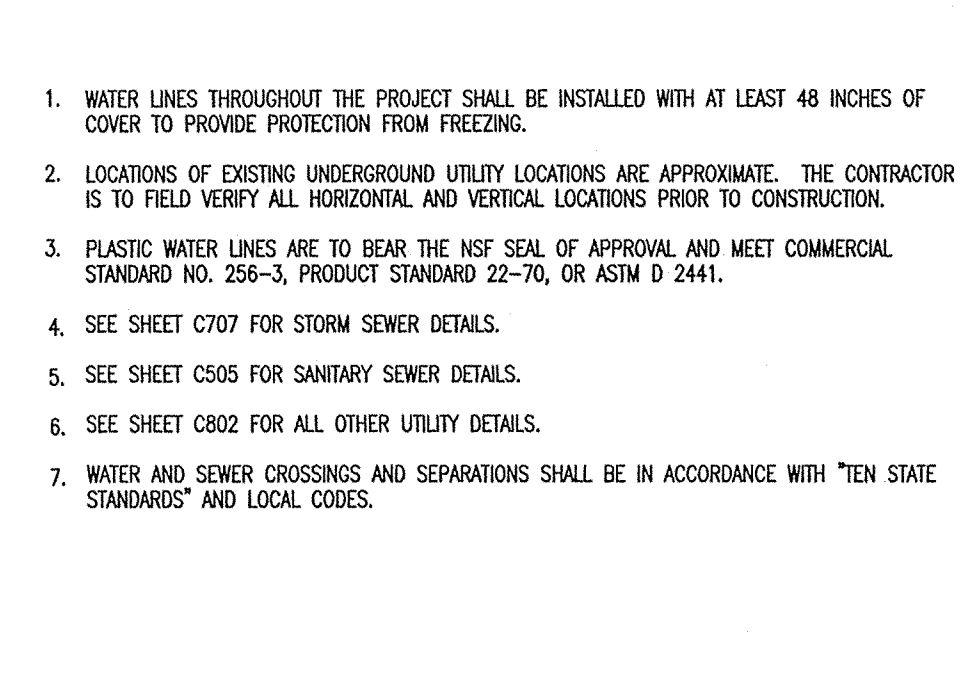
AS-BUILT NOTES:
THIS PLAN SHEET WAS INTENDED TO SHOW THE ASBUILT POSITIONS OF THE SUB SURFACE DRAINS FOR EACH LOT. EACH LOT SHOULD HAVE A 6 INCH RISER AND THE ASBUILT LOCATION IS INDICATED. WHERE NO RISER WAS FOUND THE "D" STAMPED IN THE CONCRETE CURB WAS LOCATED.

ANY CONSTRUCTION BELOW THE 100 YEAR FLOOD ZONE "A" REQUIRES PERMIT FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
ANY CONSTRUCTION IN FLOODWAY REQUIRES PERMIT FROM INDIANA DEPARTMENT OF NATURAL RESOURCES (DNR).

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NO PAD - MEANS THE LOT OWNER MUST DEVELOP AN INDIVIDUAL PLOT PLAN AND NO PAD FILL REQUIRED BY THE CONTRACTOR.
BFE - (BASE FLOOD ELEVATION) MEANS THIS IS THE LOWEST FLOOD ELEVATION PER INDIANA DEPARTMENT OF NATURAL RESOURCES FLOOD CONTROL DIVISION. NO OPENING CAN BE BELOW THIS ELEVATION.

UTILITY PLAN NOTES

- WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 18 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
- LOCATIONS OF EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- PLASTIC WATER LINES ARE TO BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
- SEE SHEET C707 FOR STORM SEWER DETAILS.
- SEE SHEET C505 FOR SANITARY SEWER DETAILS.
- SEE SHEET C802 FOR ALL OTHER UTILITY DETAILS.
- WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.



RECORD DRAWING

CAUTION: LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, HITS, WHIPS, AND MARKS MADE BY THE OWNER OR OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

DON'T DIG BLIND

1-800-382-5544
1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

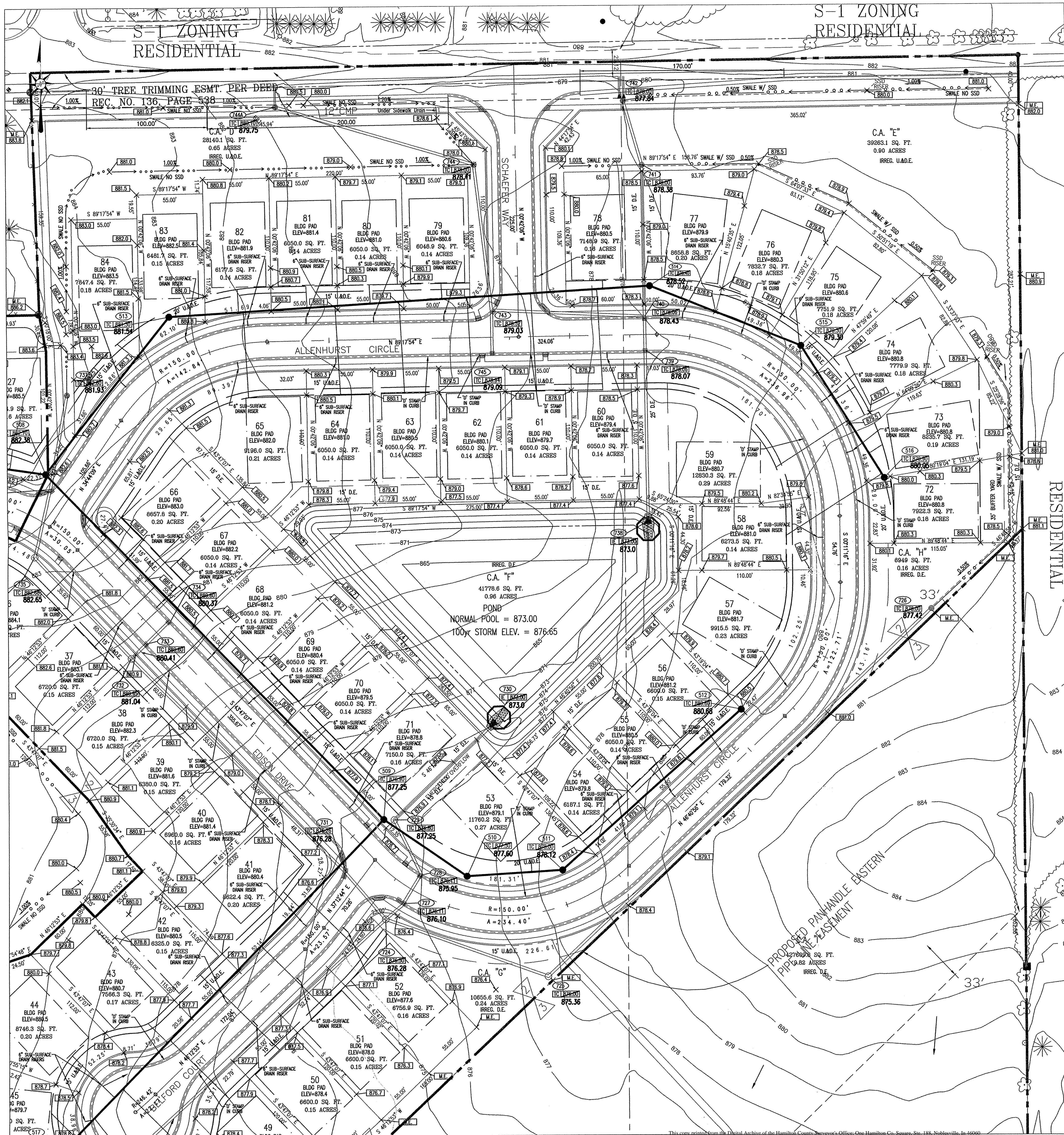
PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777
E-Mail: paul@picrife.com

ASHBURY PARK 2 AS-BUILTS

GRADING AND UTILITY PLAN
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 890-8683

Drawn by: AS-BUILT DRAWN BY: CMQ 8/10/04
Checked by:
Quality Assurance:
Scale: 1" = 40'
Sheet: **C201**
Date: 08-30-09
Project Number: 980528-20100

REGISTERED PROFESSIONAL ENGINEER
DAVID A. LACH
PE 10003126
STATE OF INDIANA



UTILITY PLAN LEGEND

PROPOSED CONSTRUCTION

SANITARY SEWER

SANITARY CLEANOUT
SANITARY LATERAL
SANITARY LINE
SANITARY STRUCTURE NUMBER
SANITARY CASTING ELEVATION
EASEMENT LINE

STORM SEWER

CURB WITH SUBSURFACE DRAIN (SSD)
CURB INLETS
STORM SEWER INLETS
STORM MANHOLE
END SECTION
STORM SEWER STRUCTURE NUMBER
STORM SEWER INVERT ELEVATION
TOP OF CASTING ELEVATION
SWALE WITH SUBSURFACE DRAIN (SSD)

WATER

WATER LINE
WATER VALVE
PROPOSED FIRE HYDRANT
WATER METER
PROPOSED BLOW OFF ASSEMBLY
PROPOSED REDUCER
PROPOSED "TEE"
PROPOSED 45° ELBOW
PROPOSED 90° ELBOW
PROPOSED 22° ELBOW
PROPOSED 11° ELBOW

ELECTRIC

OVERHEAD ELECTRIC
BURIED ELECTRIC
ELECTRIC MANHOLE
POWER POLE
GUY WIRE
TRANSFORMER
ELECTRIC PEDESTAL
GUY POLE
ELECTRIC METER
STREET LIGHT
STREET LIGHT
AREA LIGHT
FLOOD LIGHT

GAS / CABLE / TELEPHONE

OVERHEAD CABLE TELEVISION
BURIED CABLE TELEVISION
GAS LINE
OVERHEAD TELEPHONE LINE
BURIED TELEPHONE LINE
CABLE RISER PEDESTAL
GAS VALVE
GAS METER

GRADING PLAN LEGEND

PROPOSED CONSTRUCTION

PROPOSED PAVEMENT SPOT GRADE
PROPOSED GROUND SPOT GRADE
MATCH EXISTING GRADE
PROPOSED TOP OF WALL GRADE
PROPOSED TOP OF CASTING
PROPOSED INVERT ELEVATION
PROPOSED 1 FT. CONTOUR
PROPOSED INDEX CONTOUR
PROPOSED SWALE
PROPOSED SWALE WITH SSD (SUB-SURFACE DRAIN)
PROPOSED DRAINAGE FLOW ARROW (DIRECTION)
PROPOSED DRAINAGE FLOW ARROW WITH GRADE
HIGH POINT
LOW POINT
PROPOSED MINIMUM PAD ELEVATION
BASE FLOOD ELEVATION

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- STORM BALE DAMS, SEDIMENT PITS AND SILT FENCES SHALL BE UTILIZED TO CONTROL EROSION. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
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AS-BUILT
date 8/11/04

RECORD DRAWING

Hamilton County Seal

Information gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 8-2004
Entered by: JDH

DON'T DIG BLIND

CAUTION: LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, risers, valves, and meter boxes) and are not to be relied upon. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFY BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-382-5544
1-800-428-6200
FOR CALLS OUTSIDE OF INDIANA

PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777
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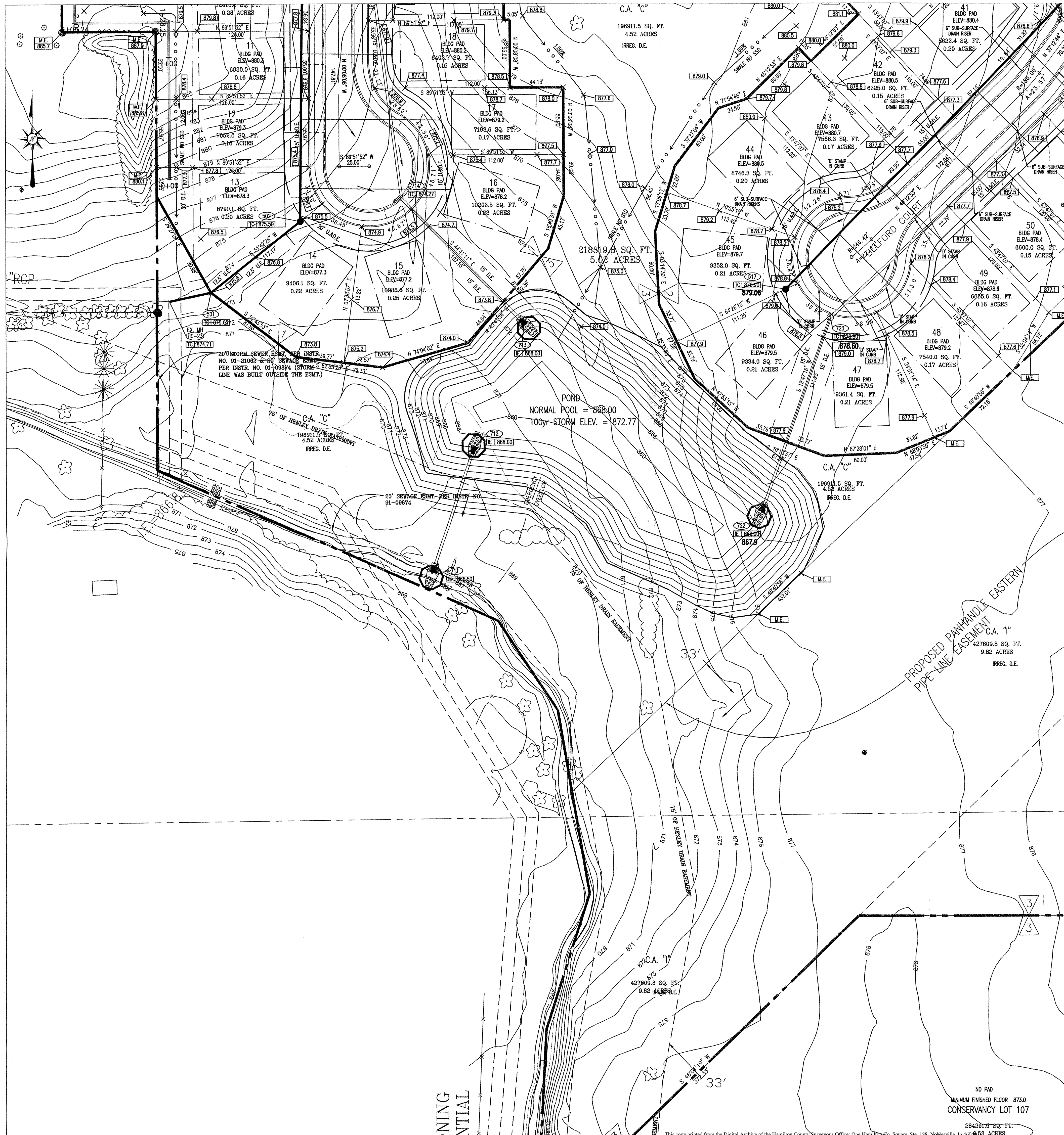
ARCHITECTS
● LANDSCAPE ARCHITECTS
● ENVIRONMENTAL CONSULTANTS
● LAND PLANNERS
● LAND SURVEYORS

ASHBURY PARK 2 AS-BUILTS

GRADING AND UTILITY PLAN
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 868-9863 FAX: (317) 868-9786

C202

Date: 08-30-08
Project Number: 980528-20100



UTILITY PLAN LEGEND
PROPOSED CONSTRUCTION

SANITARY SEWER
SANITARY CLEANOUT
SANITARY LATERAL
SANITARY LINE
SANITARY STRUCTURE NUMBER
SANITARY CASTING ELEVATION
EASEMENT LINE

STORM SEWER
CURB WITH SUBSURFACE DRAIN (SSD)
CURB INLETS
STORM SEWER INLETS
STORM MANHOLE
END SECTION
STORM SEWER STRUCTURE NUMBER
STORM SEWER INVERT ELEVATION
TOP OF CASTING ELEVATION
SWALE WITH SUBSURFACE DRAIN (SSD)

WATER
WATER LINE
WATER VALVE
PROPOSED FIRE HYDRANT
WATER METER
PROPOSED BLOW OFF ASSEMBLY
PROPOSED REDUCER
PROPOSED 'TEE'
PROPOSED 45° ELBOW
PROPOSED 90° ELBOW
PROPOSED 22° ELBOW
PROPOSED 11° ELBOW

ELECTRIC
OVERHEAD ELECTRIC
BURIED ELECTRIC
ELECTRIC MANHOLE
POWER POLE
GUY WIRE
TRANSFORMER
ELECTRIC PEDESTAL
GUY POLE
ELECTRIC METER
STREET LIGHT
STREET LIGHT
AREA LIGHT
FLOOD LIGHT

GAS / CABLE / TELEPHONE
OVERHEAD CABLE TELEVISION
BURIED CABLE TELEVISION
GAS LINE
OVERHEAD TELEPHONE LINE
BURIED TELEPHONE LINE
CABLE RISER PEDESTAL
GAS VALVE
GAS METER

GRADING PLAN LEGEND
PROPOSED CONSTRUCTION
PROPOSED PAVEMENT SPOT GRADE
PROPOSED GROUND SPOT GRADE
MATCH EXISTING GRADE
PROPOSED TOP OF WALL GRADE
PROPOSED BOTTOM OF WALL GRADE
PROPOSED TOP OF CASTING
PROPOSED INVERT ELEVATION
PROPOSED 1 FL CONTOUR
PROPOSED INDEX CONTOUR
PROPOSED SWALE
PROPOSED SWALE WITH SSD (SUB-SURFACE DRAIN)
PROPOSED DRAINAGE FLOW ARROW (DIRECTION)
PROPOSED DRAINAGE FLOW ARROW WITH GRADE
HIGH POINT
LOW POINT
PROPOSED MINIMUM PAD ELEVATION
BASE FLOOD ELEVATION

AS BUILT
date 8/11/04

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HAMILTON COUNTY INDIANA
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DON'T DIG BLIND
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GRADING NOTES:

- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
- ALL TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDDED SUCH AS LAKE SLOPES, MOUND AREAS, AREAS BETWEEN CURB AND CLEARING LIMITS, AND ALL DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
- STRAW BALE DAMS, SEDIMENT PITS AND SILT FENCES SHALL BE UTILIZED TO CONTROL EROSION. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO MAJOR EARTHWORK, WITHIN THE PROPOSED CONSTRUCTION LIMITS.
- THE BASE FLOOD ELEVATION (BFE) FOR THIS PROJECT HAS BEEN DETERMINED TO BE 870.0 FEET.
- SEE STREET PLAN & PROFILE SHEET FOR ADDITIONAL GRADES ON STREET.
- THE INTENT OF THESE PLANS IS TO USE ALL EXCESS FILL MATERIAL ONSITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
- BUILDING PAD AREAS AND STREETS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS FOR BUILDING AREAS AND STREETS ARE TO BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
- CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. OWNER AND OWNER'S REPRESENTATIVE SHALL BE CONSULTED FOR CLEARING LIMITS. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN STREET AREAS, UTILITY INSTALLATION LIMITS AND CUT FILL AREAS.
- TOPOGRAPHIC AND PLANIMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILED BY OTHERS. ACCURACY HAS NOT BEEN TOTALLY CONFIRMED BY PAUL I. CRIFE, INC. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

AS-BUILT NOTES:
THIS PLAN SHEET WAS INTENDED TO SHOW THE ASBUILT POSITIONS OF THE SUB SURFACE DRAINS FOR EACH LOT. EACH LOT SHOULD HAVE A 6 INCH RISER AND THE ASBUILT LOCATION IS INDICATED. WHERE NO RISER WAS FOUND THE "D" STAMPED IN THE CONCRETE CURB WAS LOCATED.

ANY CONSTRUCTION BELOW THE 100 YEAR FLOOD ZONE "X" REQUIRES PERMIT FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ANY CONSTRUCTION IN FLOODWAY REQUIRES PERMIT FROM INDIANA DEPARTMENT OF NATURAL RESOURCES (INDNR).

BLDG PAD - (MINIMUM PAD ELEVATION) MEANS THE DEVELOPER IS TO FILL THE AREA TO THE ELEVATION SHOWN ON THE PLANS.
NO PAD - MEANS THE LOT OWNER MUST DEVELOP AN INDIVIDUAL PLOT PLAN AND NO PAD FILL REQUIRED BY THE CONTRACTOR.
BFE - (BASE FLOOD ELEVATION) MEANS THIS IS THE LOWEST FLOOR ELEVATION PER INDIANA DEPARTMENT OF NATURAL RESOURCES FLOOD CONTROL DIVISION. NO OPENING CAN BE BELOW THIS ELEVATION.

UTILITY PLAN NOTES:

- WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 48 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
- LOCATIONS OF EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- PLASTIC WATER LINES ARE TO BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
- SEE SHEET C707 FOR STORM SEWER DETAILS.
- SEE SHEET C505 FOR SANITARY SEWER DETAILS.
- SEE SHEET C802 FOR ALL OTHER UTILITY DETAILS.
- WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.

ASHBURY PARK 2 AS-BUILTS

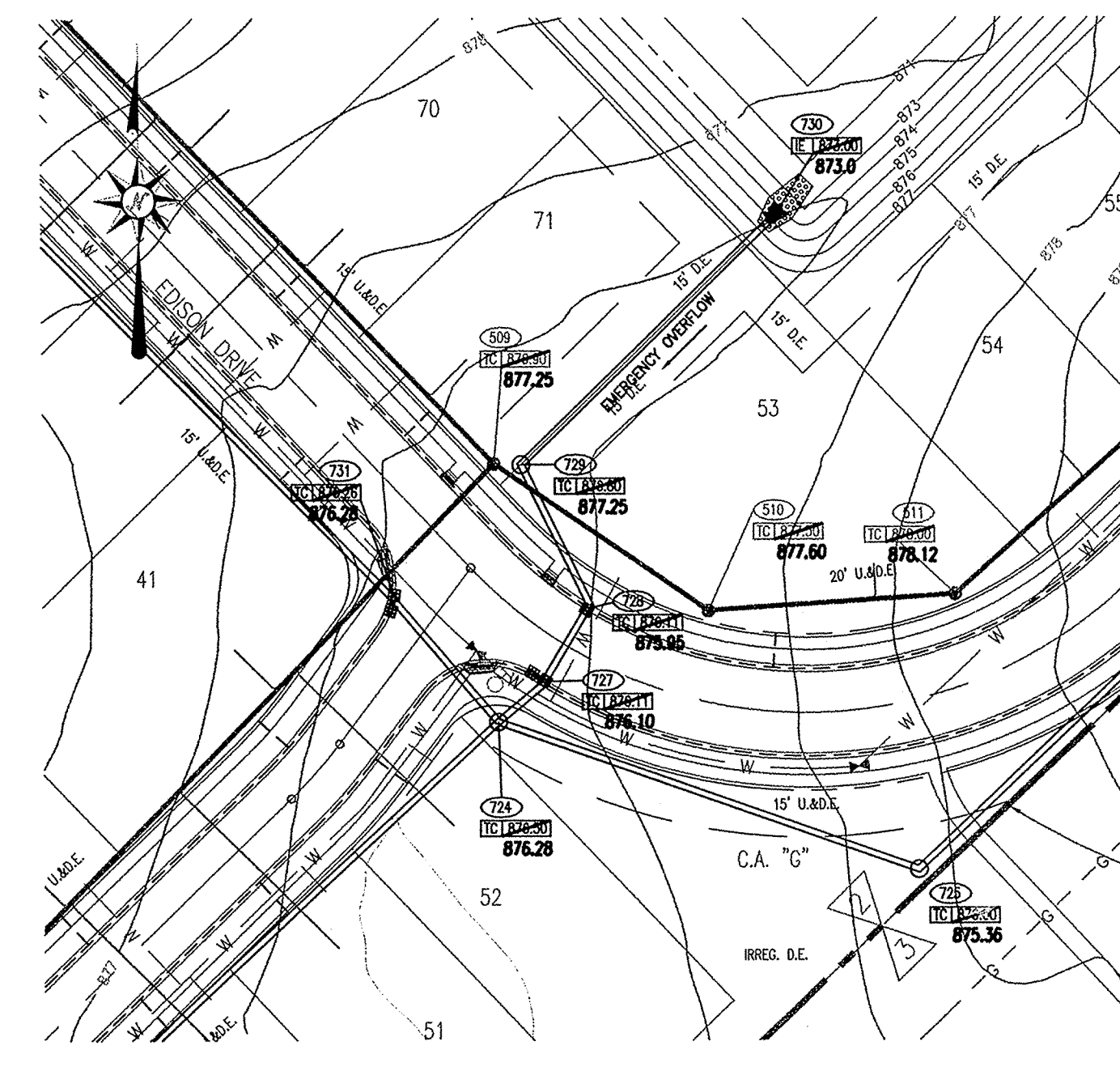
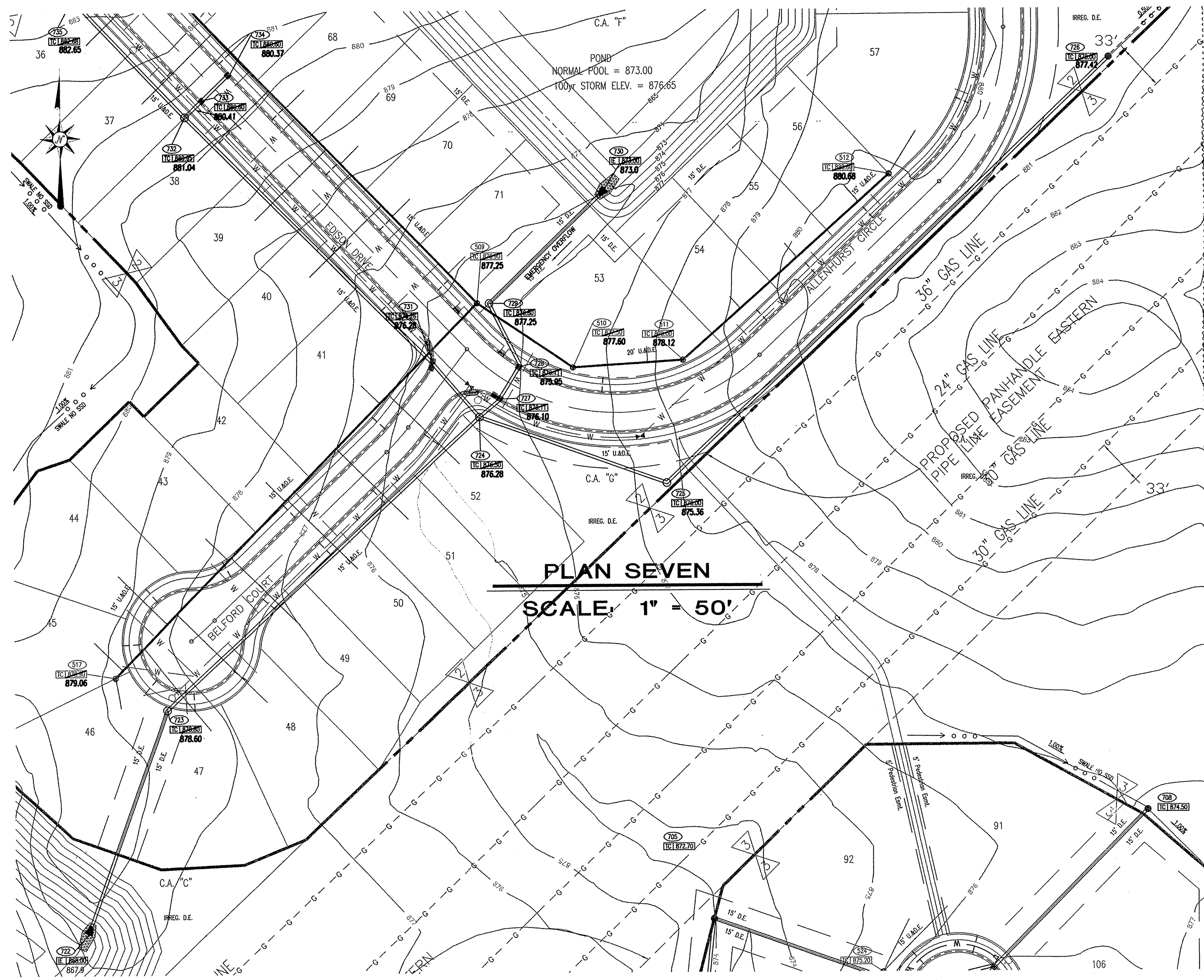
GRADING AND UTILITY PLAN
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 590-8893

PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777
E-mail: picrife@picrife.com

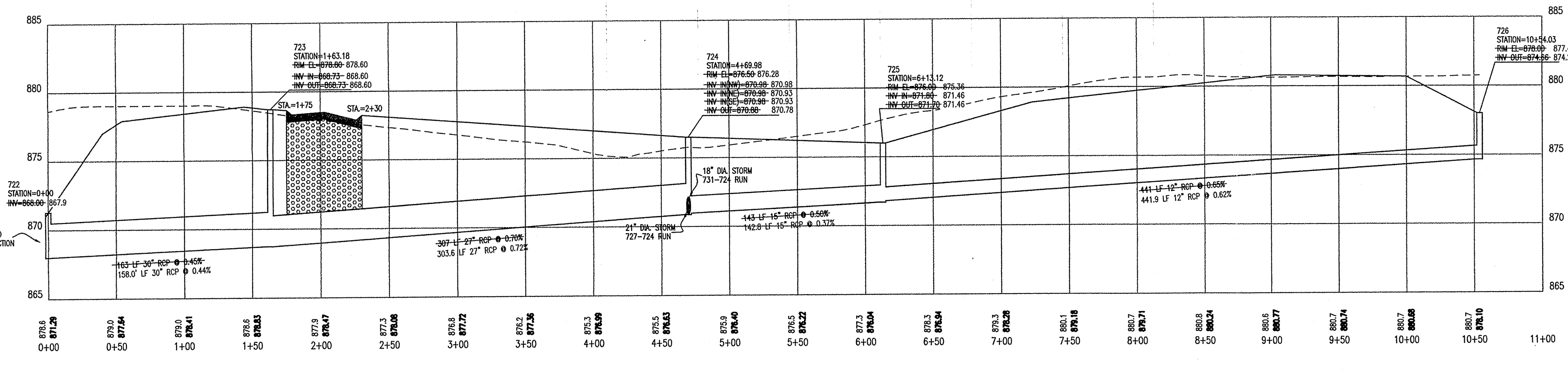
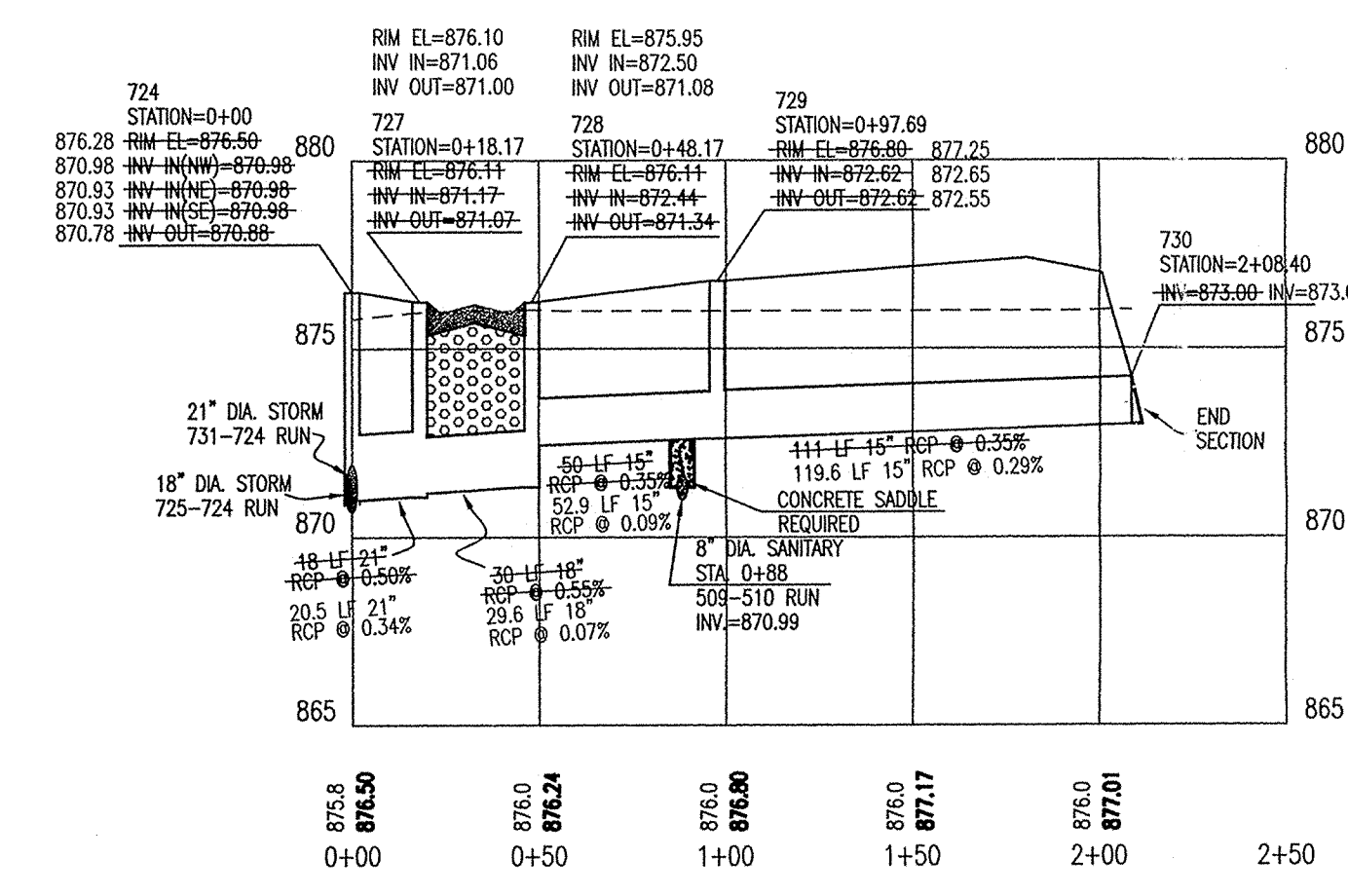
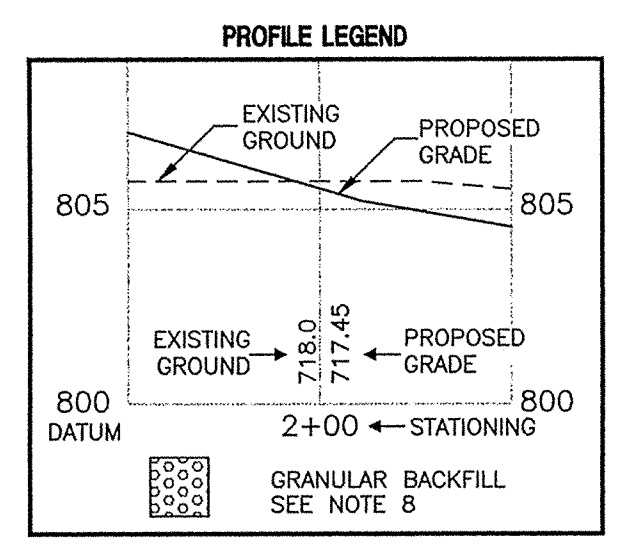
ASBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 590-8893

PROFESSIONAL ENGINEER
STATE OF INDIANA
PE 10000128
8/11/04

Drawn By: AS-BUILT DRAWN BY: CMQ 8/10/04
Checked By:
Quality Assurance:
Scale: 0 Scale: 1" = 40'
Sheet: **C203**
Date: 09-30-09
Project Number: 880528-20100



- STORM SEWER PLAN AND PROFILE NOTES:**
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 - DEBRIS GUARD TO BE INSTALLED ON INLET PIPE STRUCTURES AND OUTFALL POND/STREAM STRUCTURES.



Hamilton County Seal

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Entry Date: 8-19-04

Entered by: JAH

AS BUILT
date 7/6/04

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(317) 842-6777
E-Mail: picrife@picrife.com

ASHBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 890-8683 FAX: (317) 890-8786

STORM SEWER PLAN AND PROFILE
ASHBURY PARK 1 - 3 and SPRING FARMS 3

CERTIFIED BY: [Signature]

DAVID A. LAMB
REGISTERED PROFESSIONAL ENGINEER
STATE OF INDIANA
PE 10000126

Drawn By: [Signature]

Checked by: BRUCE HAGEN

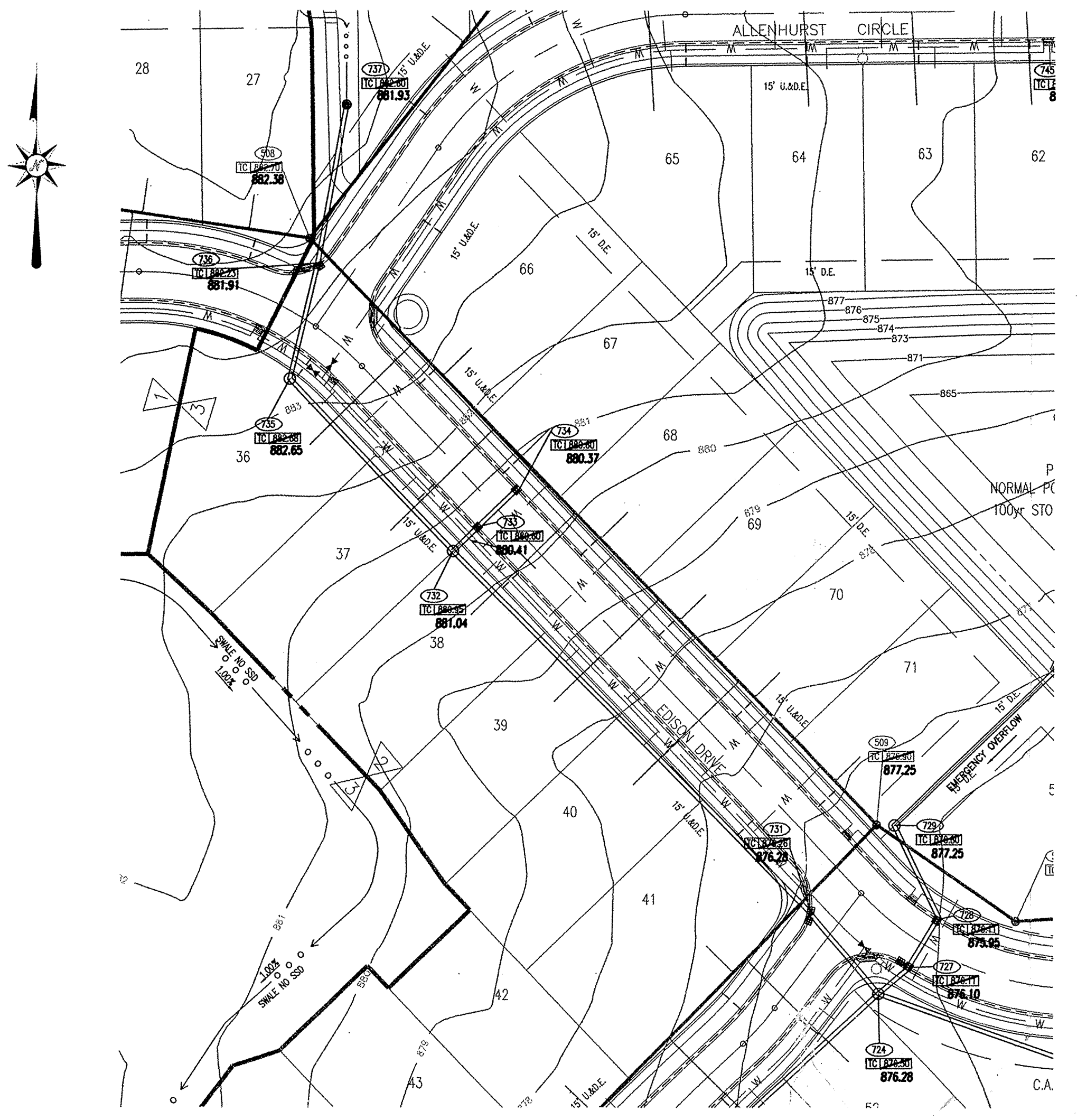
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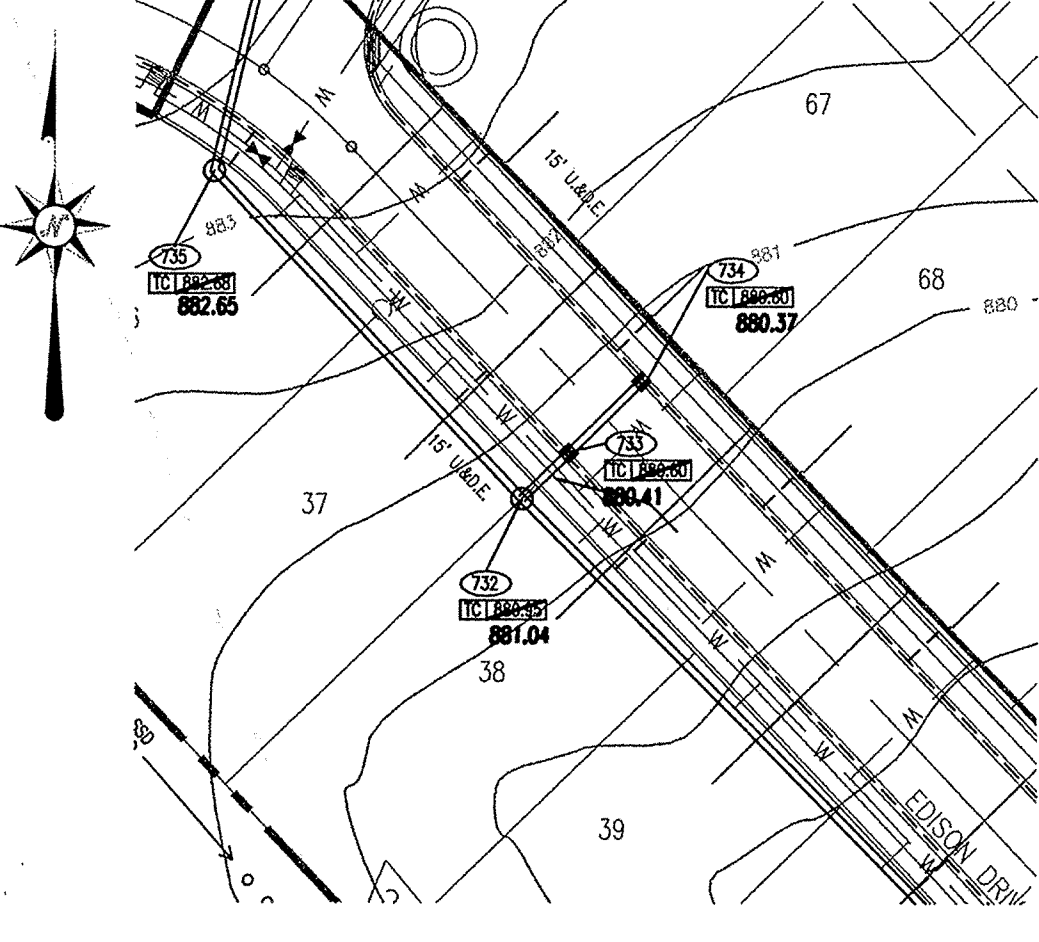
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Date: 08-30-99

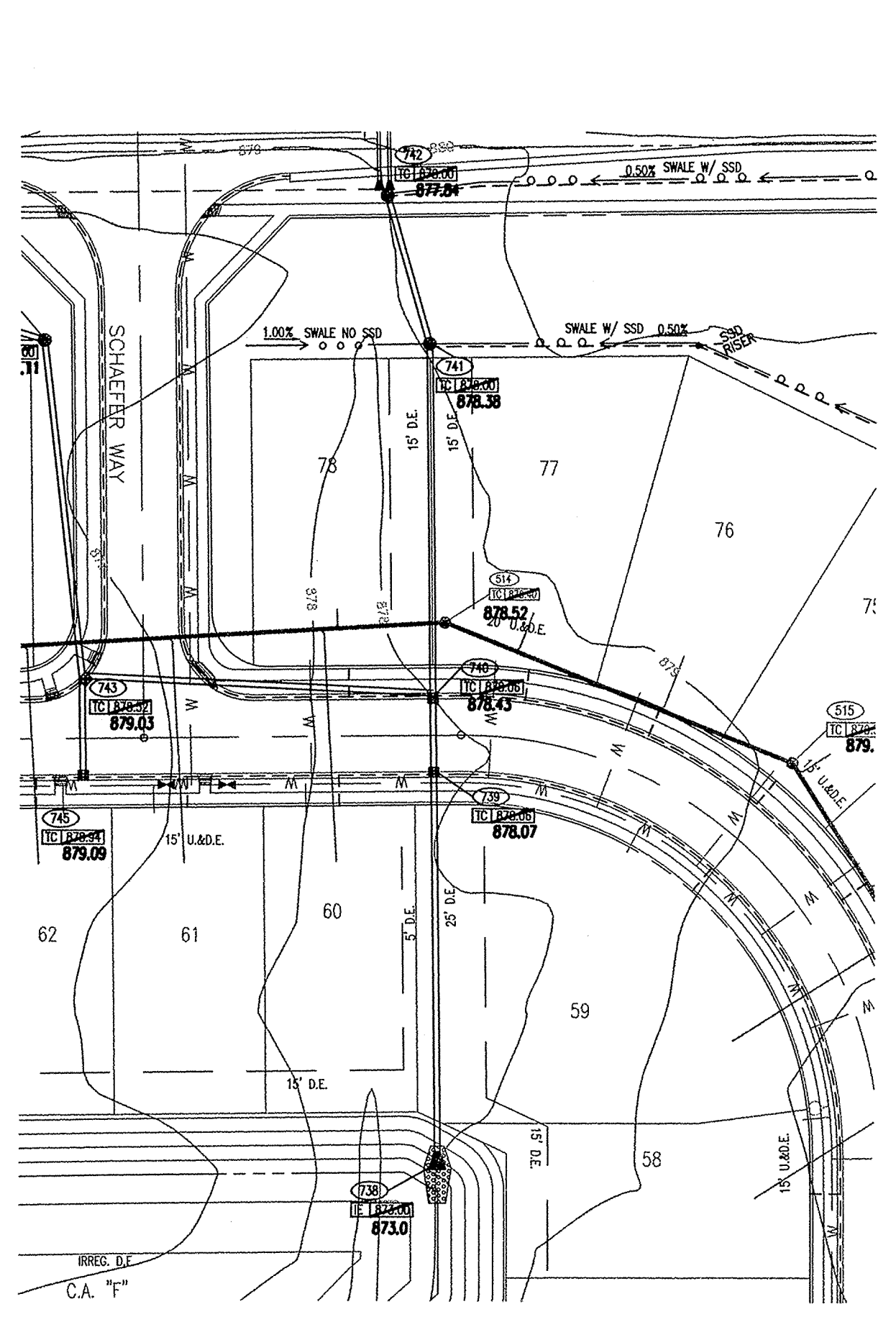
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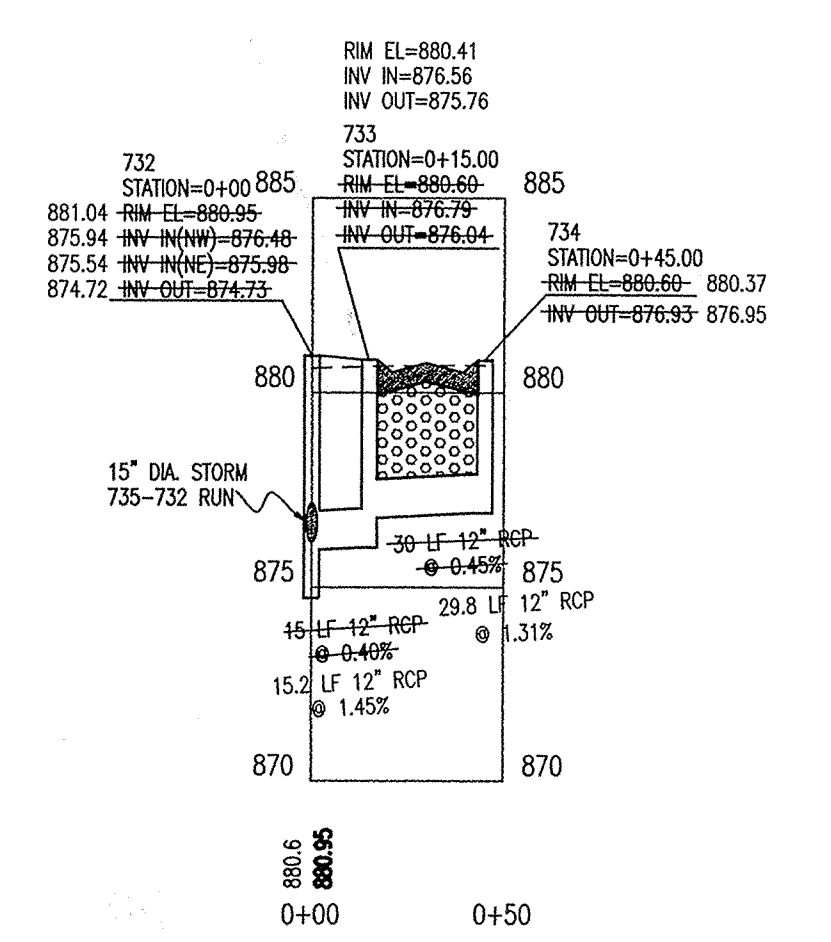
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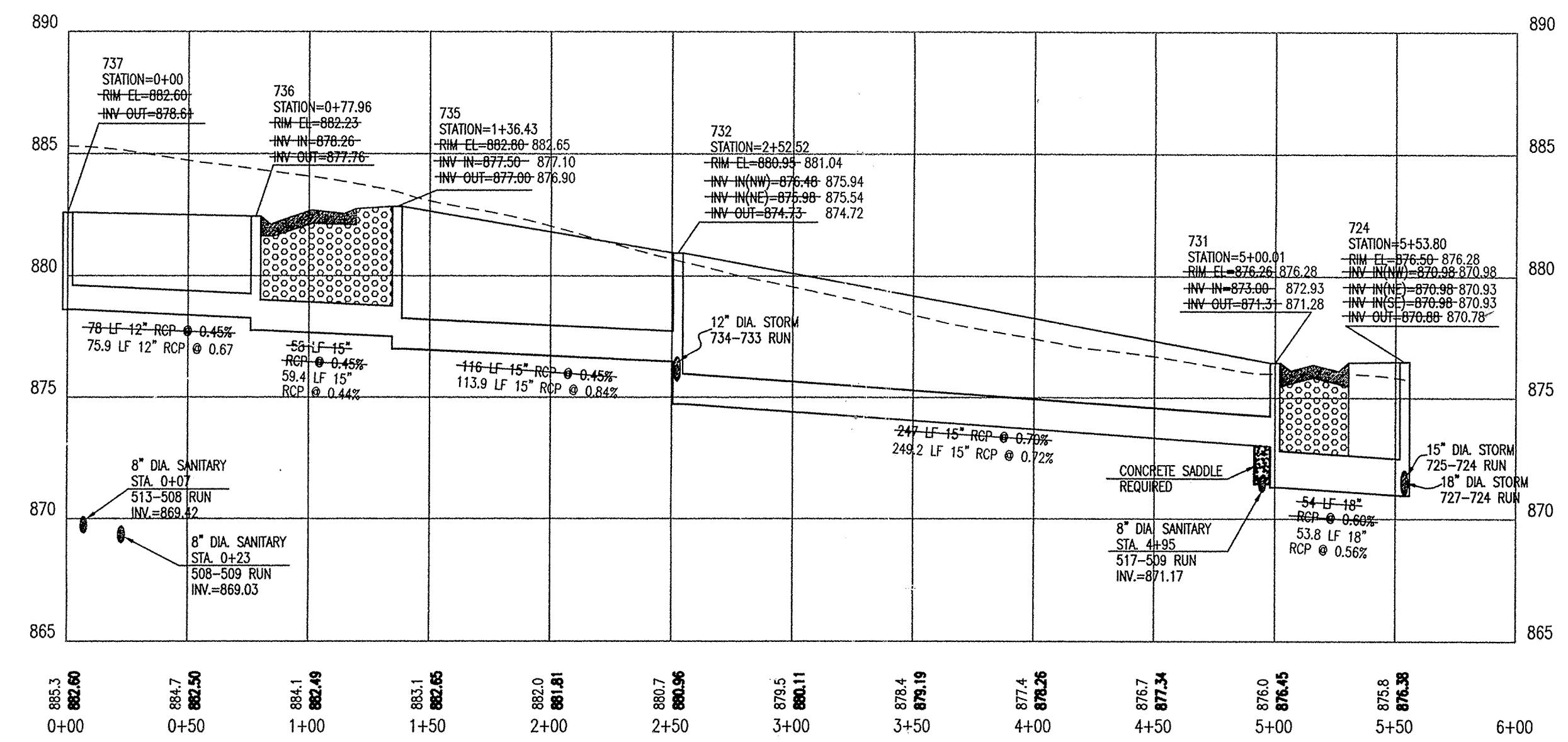
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PLAN ELEVEN
SCALE: 1" = 50'



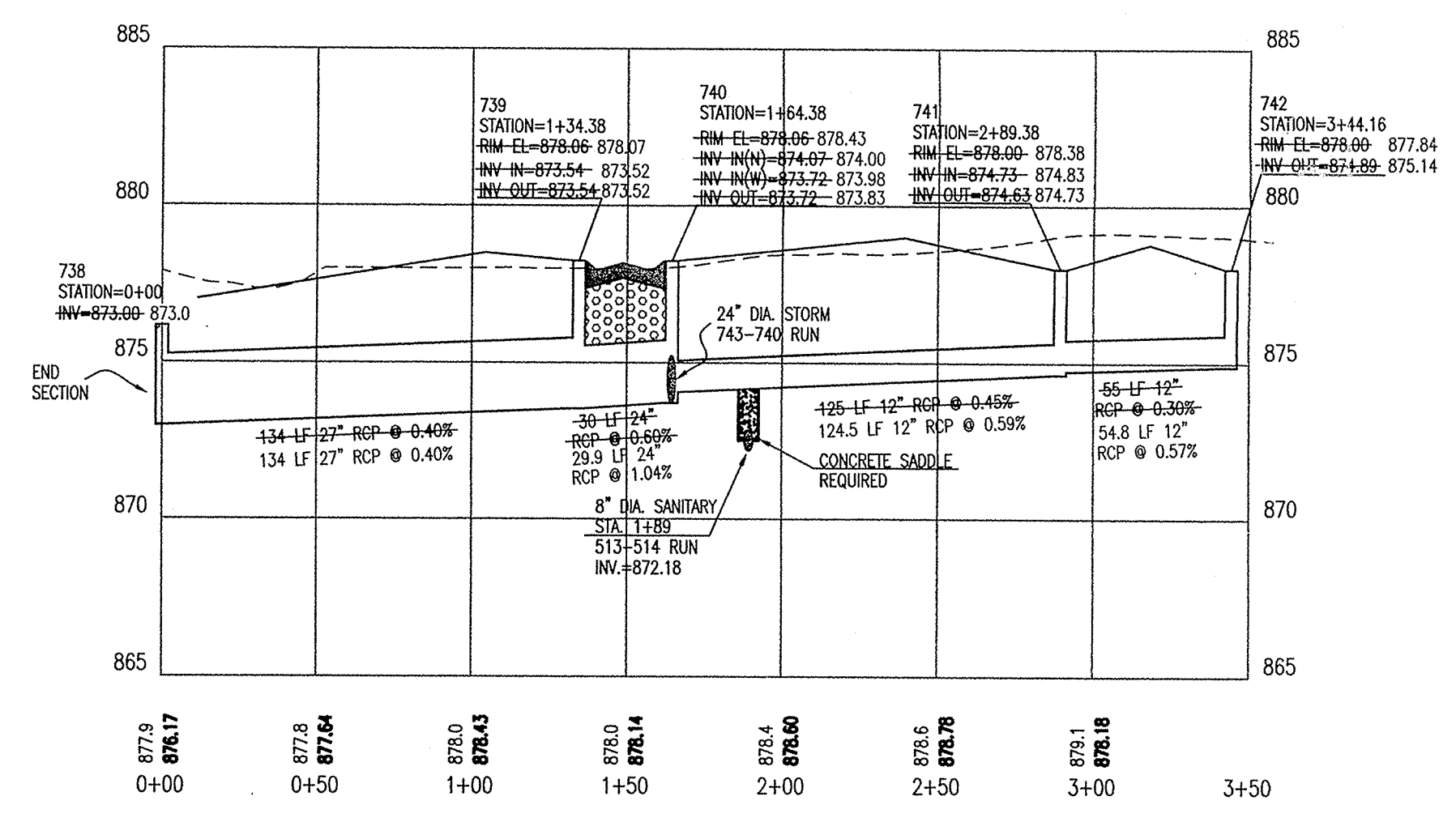
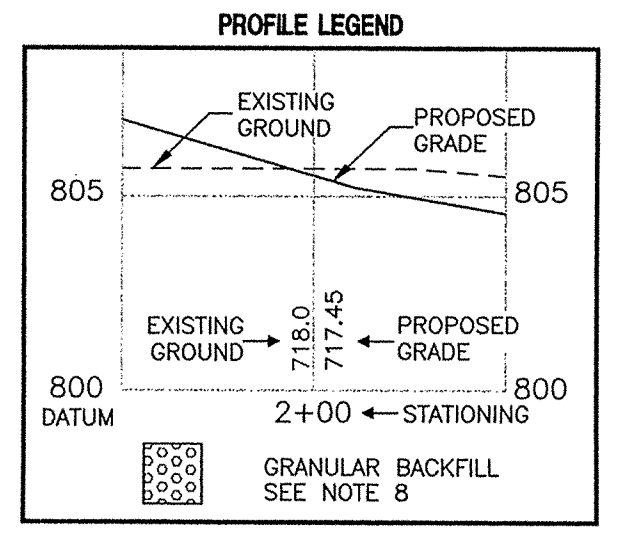
PROFILE TEN
HOR. SCALE: 1" = 50'
VER. SCALE: 1" = 5'



PROFILE NINE
HOR. SCALE: 1" = 50'
VER. SCALE: 1" = 5'

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PROFILE ELEVEN
HOR. SCALE: 1" = 50'
VER. SCALE: 1" = 5'

Hamilton County
Indiana
1823

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Entry Date: 8-19-04
Entered by: J011

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date 7/19/04

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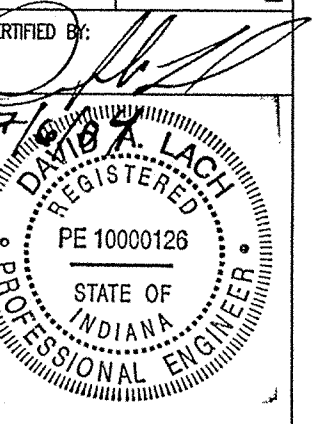
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1-800-382-5544
CALL TOLL FREE
1-800-428-5200
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LAND SURVEYORS

PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
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(317) 842-6777 FAX (317) 841-4798
E-Mail at picrife@picrife.com

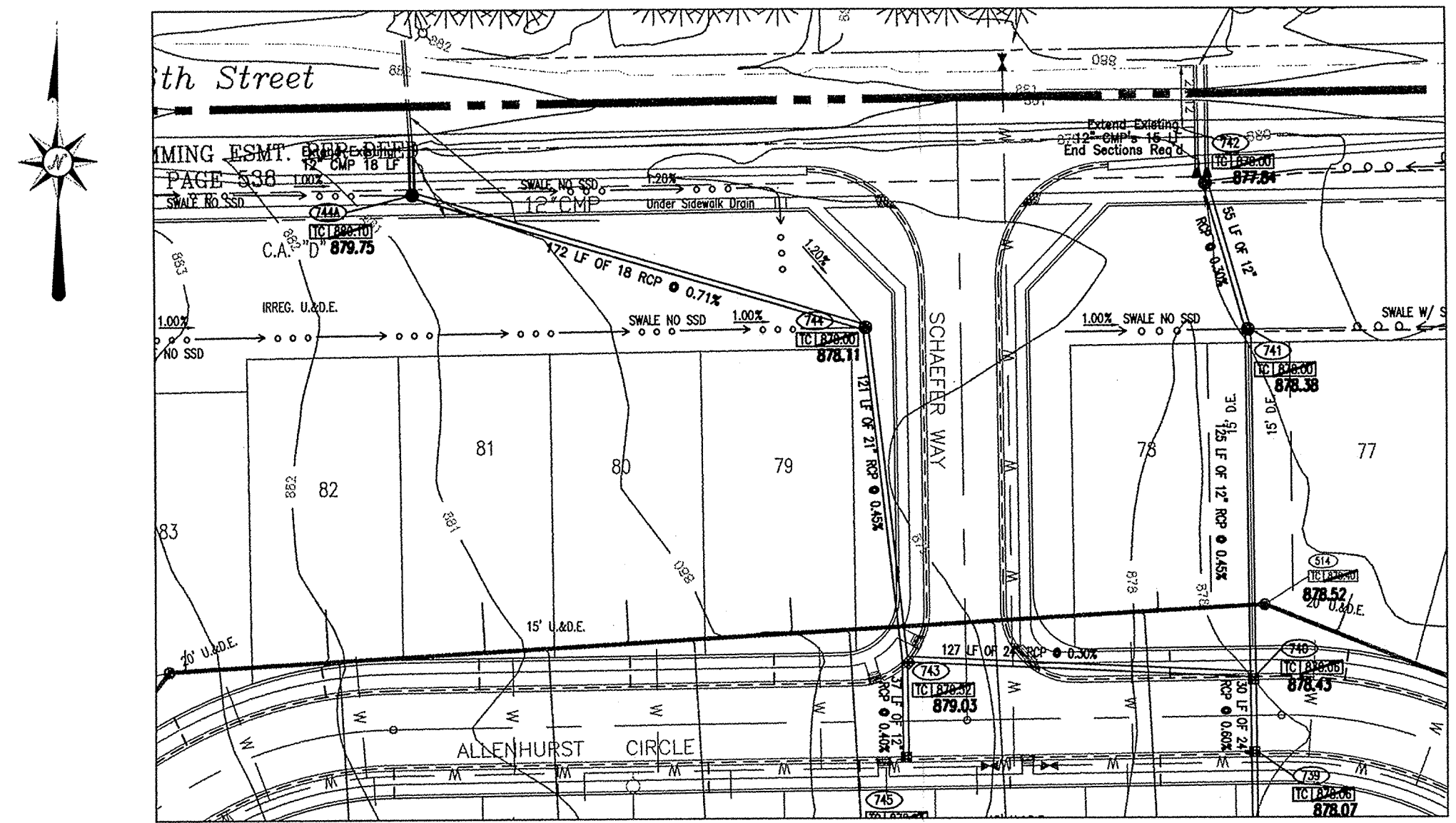
STORM SEWER PLAN AND PROFILE
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 390-8883 FAX: (317) 390-8786



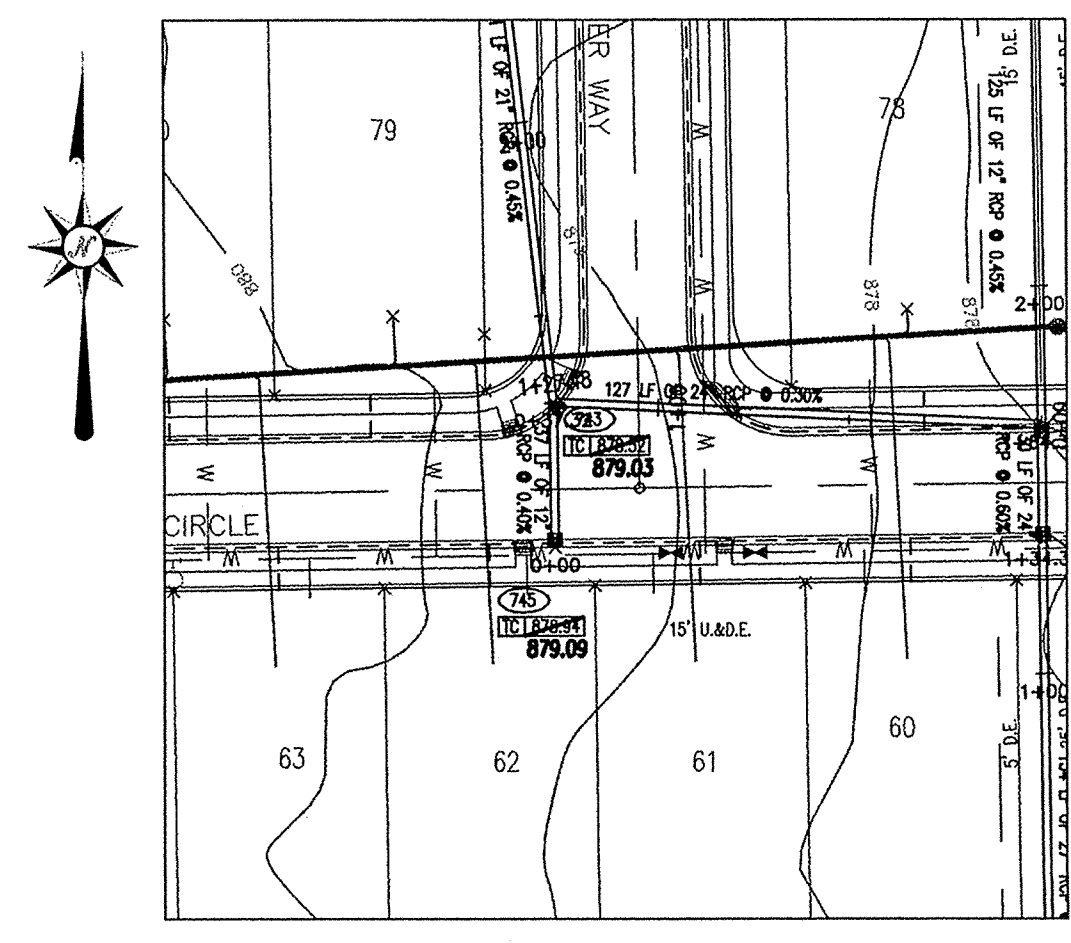
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Quality Assurance:
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Date: 08-30-08
Project Number: 980528-20100

STORM SEWER PLAN AND PROFILE NOTES:

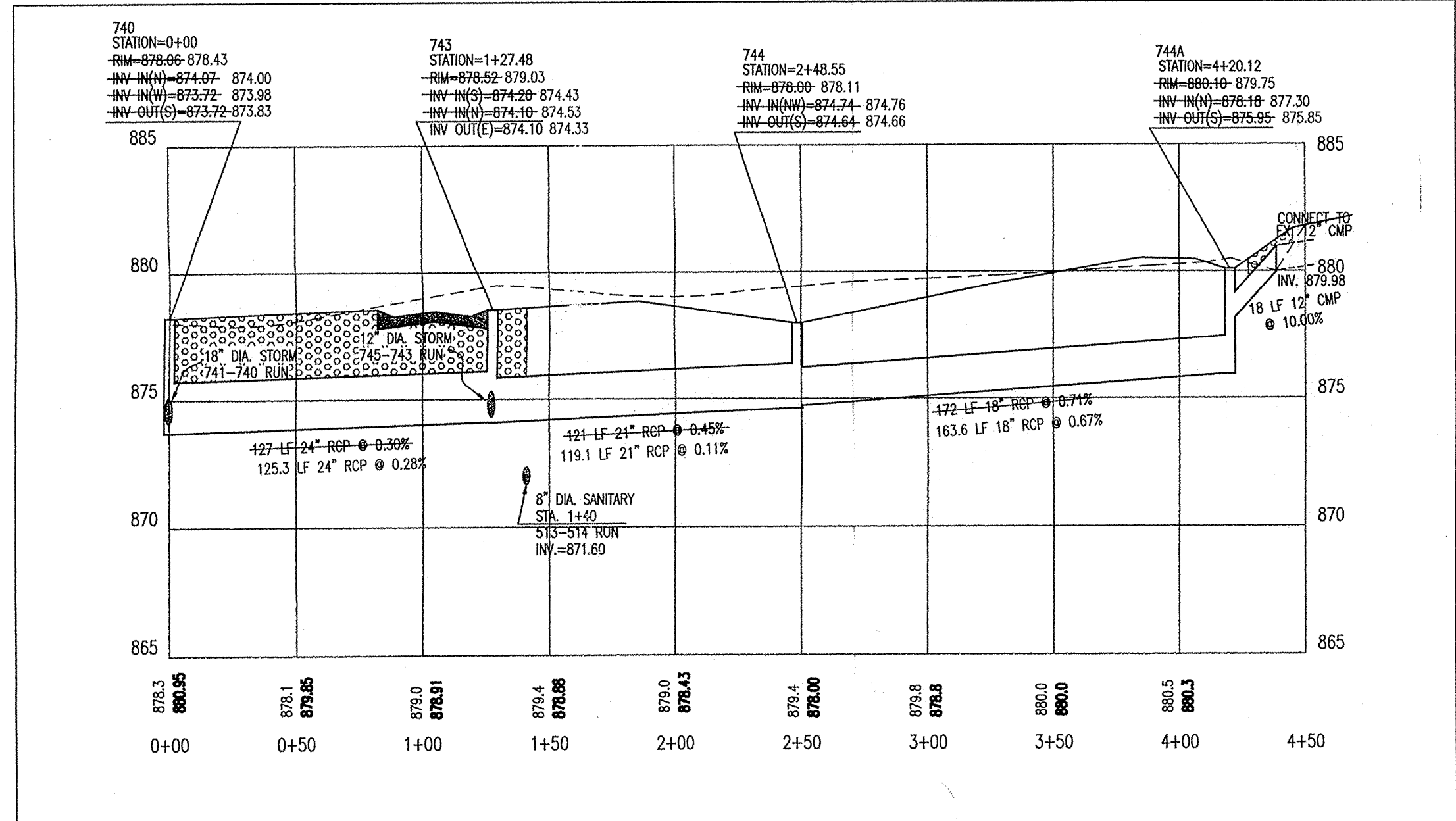
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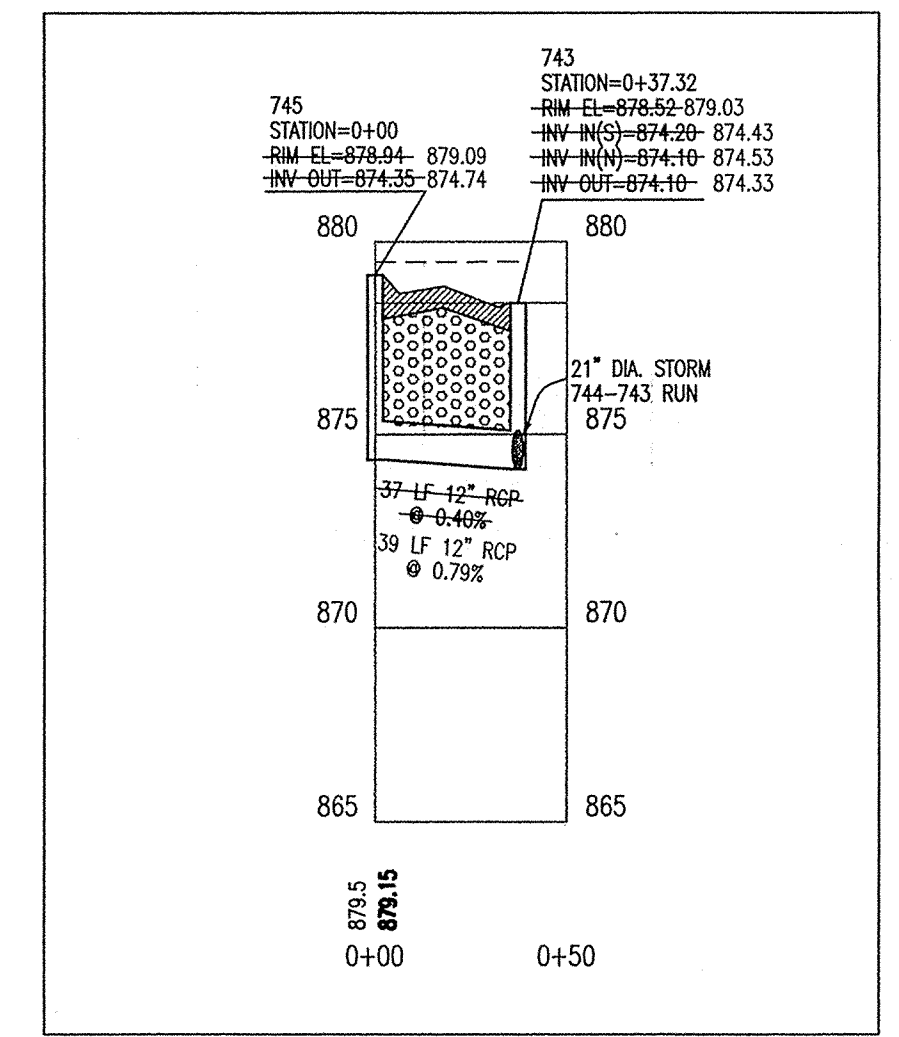
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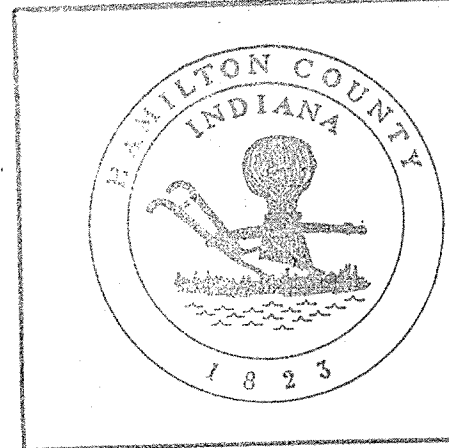
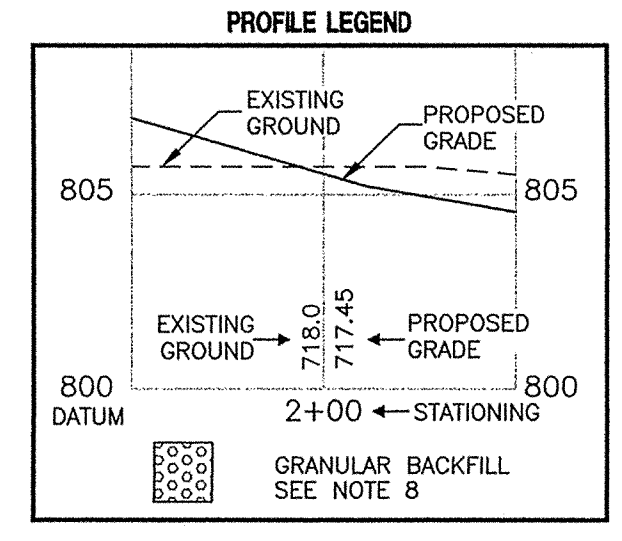
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SCALE: 1" = 50'



PROFILE TWELVE
HOR. SCALE: 1" = 50'
VER. SCALE: 1" = 5'



PROFILE THIRTEEN
HOR. SCALE: 1" = 50'
VER. SCALE: 1" = 5'



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Entry Date: 8-19-04
Entered by: JH

AS BUILT
date 7/6/04

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CAUTION: LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, pits, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

ARCHITECTS
ENGINEERS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL CONSULTANTS
PLANNERS
LAND PLANNERS
LAND SURVEYORS

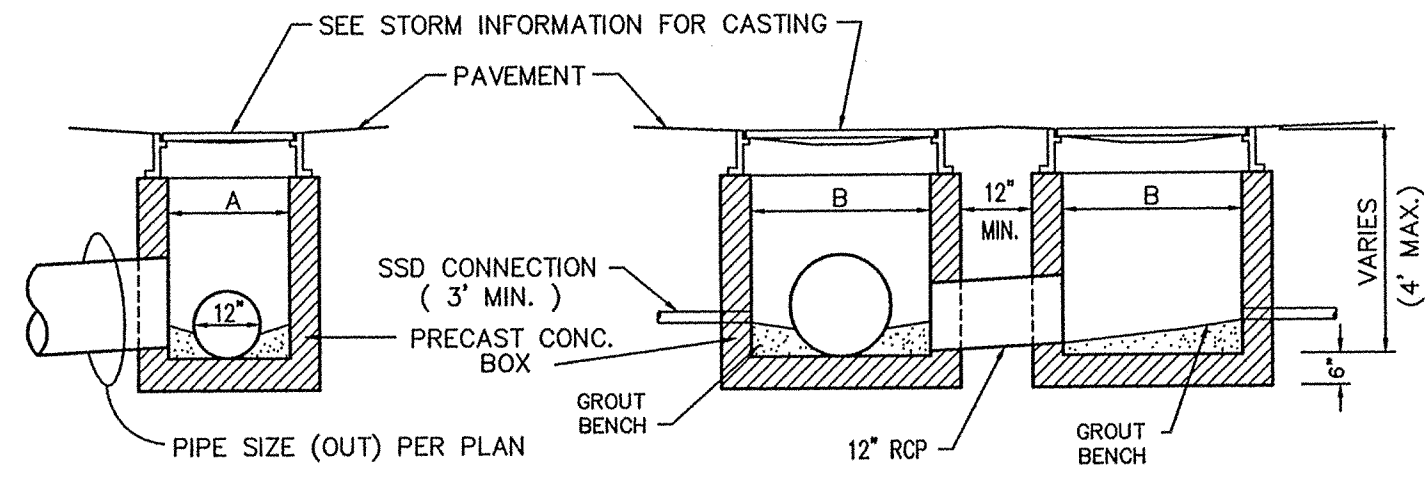
PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 841-4798
E-Mail at pcrife@pcrife.com

STORM SEWER PLAN AND PROFILE
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 564
CARMEL, IN 46032
PHONE: (317) 580-8893 FAX: (317) 580-8786

CERTIFIED BY:
[Signature]
DONALD A. LACH
REGISTERED
PE 10000128
STATE OF INDIANA
PROFESSIONAL ENGINEER

Drawn By:
Checked By: **BRUCE HAGEN**
Dually Assurance:
Scale: 1" = 50'
Sheet: **C706**
Date: **08-30-09**
Project Number: **880528-20100**

E.J.W	NEENAH	TYPE	USE	A	B
1022-1 HD	R-1772-A	MANHOLE	GRADED AREAS	24"	24"
1022-3 HD	R-1772-C	MANHOLE	TRAFFIC AREAS	24"	24"
7490-M1	R-3501-N	ROLL CURB	LOW POINTS	24"	24"
7495-LH-RH	R-3501-TL-TR	ROLL CURB	FLOW LEFT OR RIGHT	25"	27"
6489	R-4342	DITCH GRATE	SWALES	23"	23"



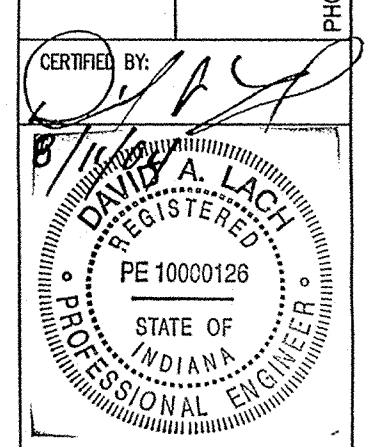
ST-31 DOUBLE SHALLOW INLET
NO SCALE

Revisions	Mark	Date	Description

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ENGINEERS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL CONSULTANTS
PLANNERS
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LAND SURVEYORS

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E-Mail at picripe@picripe.com

STORM SEWER DETAILS
ASHBURY PARK 2- AS-BUILTS
ASHBURY PARK, LLC
P.O. BOX 554
CARMEL, IN 46032
PHONE: (317) 890-8883 FAX: (317) 890-8786



Drawn By:
AS-BUILT DRAWN BY: CMQ 8/10/04
Checked By:
Quality Assurance:
Scale: 1" = 1'-0"
Sheet: C708
Date: 08-30-09
Project Number: 980528-20100

AS BUILT
date 8/10/04

RECORD DRAWING